



136 North Monroe Street, Waterloo, Wisconsin 53594-1198
Phone (920) 478-3025
Fax (920) 478-2021

**NOTICE OF A CITY OF WATERLOO
PLAN COMMISSION MEETING**

Pursuant to Section 19.84 Wisconsin Statutes, notice is hereby given to the public and the news media, the following meeting will be held:

MEETING: PLAN COMMISSION
DATE: TUESDAY, FEBRUARY 27, 2018 **TIME: 7:00 p.m.**
LOCATION: 136 N. MONROE STREET, MUNICIPAL BUILDING COUNCIL CHAMBERS

to consider the following:

PUBLIC HEARING #1

1. CALL TO ORDER -- CONDITIONAL USE PERMIT – DANIEL & KATHY HEDGES, PROPERTY LOCATED AT 615 JEFFERSON STREET
The Applicant, Daniel & Kathy Hedges, Owners Of The Property Located At 615 Jefferson Street, Is Requesting A Conditional Use Permit To Allow For Construction Of An Additional 30' X 40' (1200 sq. ft.) Accessory Building
2. ADJOURN PUBLIC HEARING

PLAN COMMISSION REGULARLY SCHEDULED MEETING

1. CALL TO ORDER AND ROLL CALL
2. MEETING MINUTES APPROVAL: January 23, 2018 and Public Hearing
3. CITIZEN INPUT
4. COMPLIANCE & ENFORCEMENT REPORT
5. NEW BUSINESS
 - a. Conditional Use Permit, Daniel & Kathy Hedges, Owners Of The Property Located At 615 Jefferson Street, Is Requesting A Conditional Use Permit To Allow For Construction Of An Additional 30' X 40' Accessory Building
 - b. Architectural Plan Review - HIEP, LLC, Owner Of The Property Located At 700 Commercial Avenue
6. FUTURE AGENDA ITEMS AND ANNOUNCEMENTS
 - a. Considering The Following Updates: Zoning Maps, Conditional Use Forms And Comprehensive Plan Map
7. ADJOURNMENT

Mo Hansen

Mo Hansen, Clerk/Treasurer

Posted, Distributed & Emailed: February 23, 2018

Members: Leisses, Thompson, Crosby, Butzine, Reynolds, Lannoy and Springer

PLEASE NOTE: It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above meeting(s) to gather information. No action will be taken by any governmental body other than that specifically noticed. Also, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request such services please contact the clerk's office at the above location.

WATERLOO PLAN COMMISSION – MINUTES
January 23, 2018

PUBLIC HEARING

1. CALL TO ORDER -- CONDITIONAL USE PERMIT – HIEP, LLC, PROPERTY LOCATED AT 700 COMMERCIAL AVENUE. The Applicant, HIEP, LLC, Owner Of The Property Located At 700 Commercial Avenue, Is Requesting A Conditional Use Permit To Allow For Construction Of A Building 65' In Height. Alderperson Springer called the public hearing to order at 7 pm. Plan Commissioners attending: Leisses, Crosby, Springer, Butzine, Lannoy and Reynolds. Absent: Thompson. Others attending: Diane Graff, the Courier; Eric Salm; George Cullen and Clerk/Treasurer Hansen.
2. HEARING: No one spoke in favor or in opposition.
3. ADJOURN PUBLIC HEARING. Bill Springer adjourned the public hearing at approximately 7:01 pm.

PLAN COMMISSION REGULARLY SCHEDULED MEETING

1. CALL TO ORDER AND ROLL CALL. Alderperson Bill Springer called the meeting to order at 7:01 pm. Plan Commissioners attending: Leisses, Crosby, Springer, Butzine, Lannoy and Reynolds. Absent: Thompson. Others attending: Diane Graff, the Courier; Eric Salm, George Cullen and Clerk/Treasurer Hansen.
2. APPROVAL OF PREVIOUSLY UNAPPROVED MEETING MINUTES. MOTION: Moved by Leisses, seconded by Crosby to approve the November 28, 2017 minutes as presented. VOICE VOTE: Motion carried.
3. CITIZEN INPUT. None.
4. COMPLIANCE & ENFORCEMENT REPORT. Hansen said over thirty sidewalk snow/ice invoices were sent out, and an ordinance change on that topic was before the Council. He said a regular report would be presented. In reply to a Lannoy question, Hansen said money was not budgeted for hiring outside contractors for snow removal and weed removal as was talked about as the "Beaver Dam Model" by the Plan Commission in 2017. Hansen said there was no support from others for the concept.
5. NEW BUSINESS
 - a. Conditional Use Permit, HIEP, LLC, Owner Of The Property Located At 700 Commercial Avenue, Is Requesting A Conditional Use Permit To Allow For Construction Of A Building 65' In Height. DISCUSSION: The Building Inspector's review was read referencing setbacks. Mitch Leisses said overall coordination was good between developer and municipality. Leisses said road modifications needed to be incorporated into the developer's plans. In reply to a Springer question, Salm & Cullen confirmed the facility would be fully served by a sprinkler system. Butzine, noting Waterloo's apparatus and other communities' said suitable response to fire was available as was access to the metal building. Replying to a Butzine question about combustible materials as part of the manufacturing process, Salm indicated that the material rates in the ST1 category, the least flammable on a 1-3 scale. Butzine said nox boxes would be required. In reply to a Crosby question, Salm described the facility as producing bio functional feed ingredients with a first product serving the poultry industry. He said the technology involved eggs. No chickens would be on site. The product serves as a replacement for antibiotics in animal agriculture. MOTION: Moved by Lannoy, seconded by Reynolds to recommend Council approval of the conditional use application as presented. ROLL CALL VOTE: Ayes: Leisses, Crosby, Springer, Butzine, Lannoy and Reynolds. Noes: none with Thompson absent. Motion carried.
6. FUTURE AGENDA ITEMS AND ANNOUNCEMENTS
 - a. Considering The Following Updates: Zoning Maps, Conditional Use Forms And Comprehensive Plan Map
7. ADJOURNMENT. MOTION: Moved by Butzine, seconded by Lannoy to adjourn. Approximate time: 7:09 pm.



Mo Hansen
Clerk/Treasurer



136 North Monroe Street, Waterloo, Wisconsin 53594-1198
Phone (920) 478-3025
Fax (920) 478-2021

**NOTICE OF PUBLIC HEARING FOR CONDITIONAL USE PERMIT UNDER PROVISIONS
OF CHAPTER §385-10(B)(7) OF THE ZONING CODE OF THE CITY OF WATERLOO,
JEFFERSON COUNTY, WISCONSIN**

Please take notice that the Plan Commission of the City of Waterloo, Jefferson County, Wisconsin, acting under provisions of Chapter §385-10(B)(7) of the Zoning Code of the City of Waterloo, shall hold a public hearing on the matter of an application for a conditional use permit received from Daniel & Kathleen Hedges, owners of the property located at 615 Jefferson Street, Waterloo.

The applicant is requesting a conditional use permit to allow the construction of an additional 30' x 40' (1200 sq. ft.) accessory building. A conditional use permit is required for an additional garage or accessory building in a residential district.

The property is described as follows:

Tax Parcel: #290-0813-0823-035

Legal Description: LOT 1, CSM 4230-21-046, DOC 1080489, City of Waterloo, Jefferson County, Wisconsin

Also known as 615 Jefferson Street.

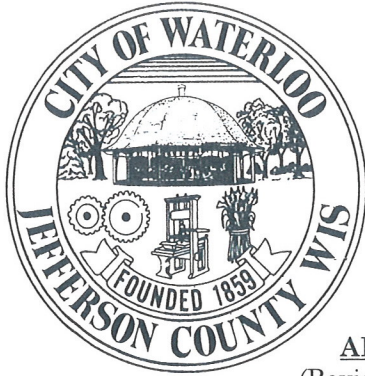
Be further notified that the Plan Commission will hear all persons interested or their agents or attorneys concerning this conditional use permit application at a public hearing. The public hearing will be held at **7:00 p.m. on Tuesday, February 27, 2018 in the Council Chamber of the Municipal Building, 136 N. Monroe Street, Waterloo.**

Subsequent to the public hearing, the Plan Commission shall recommend approval, denial, or conditional approval of the conditional use permit to the Common Council. The City Council will act on the Plan Commission's recommendation at its regularly scheduled meeting on Thursday, March 1, 2018.

Mo Hansen

Mo Hansen
City Clerk/Treasurer

Pub: The Courier: February 15, 2018



136 NORTH MONROE STREET, WATERLOO, WISCONSIN 53594-1198
Phone (920) 478-3025
Fax (920) 478-2021
cityhall@waterloowis.com

APPLICATION FOR CONDITIONAL USE PERMIT
(Review and Action by City Plan Commission/Common Council)

Number: # 33862 Date Filed: 2/8/2018 Fee Paid: \$285.00

Location of Property: 615 Jefferson St.

Applicant: Dan and Kathy Hedges

Address: 615 Jefferson St Telephone: 920-478-8277

Owner of Property: Dan and Kathy Hedges

Address: 615 Jefferson St Telephone: 920-478-8277

Contractor: LONDON LUMBER & CONST.

Address: 34 DEPOT RD CAMBRIDGE WI Telephone: 1-608-764-5222

Architect or Professional Engineer: _____

Address: _____ Telephone: _____

Legal Description of Property: see survey map

Land Parcel Size: 96,136 sq. ft Present Use: residential Zoning District: R 2

Type of Existing Structure (if any): house and garage

Proposed Use of the Structure or Site: storage Number of Employees: _____

Terms of Municipal Code

Conditional Use Requested

385-8 B.(7) Additional
garages > 144 @ 1200 @

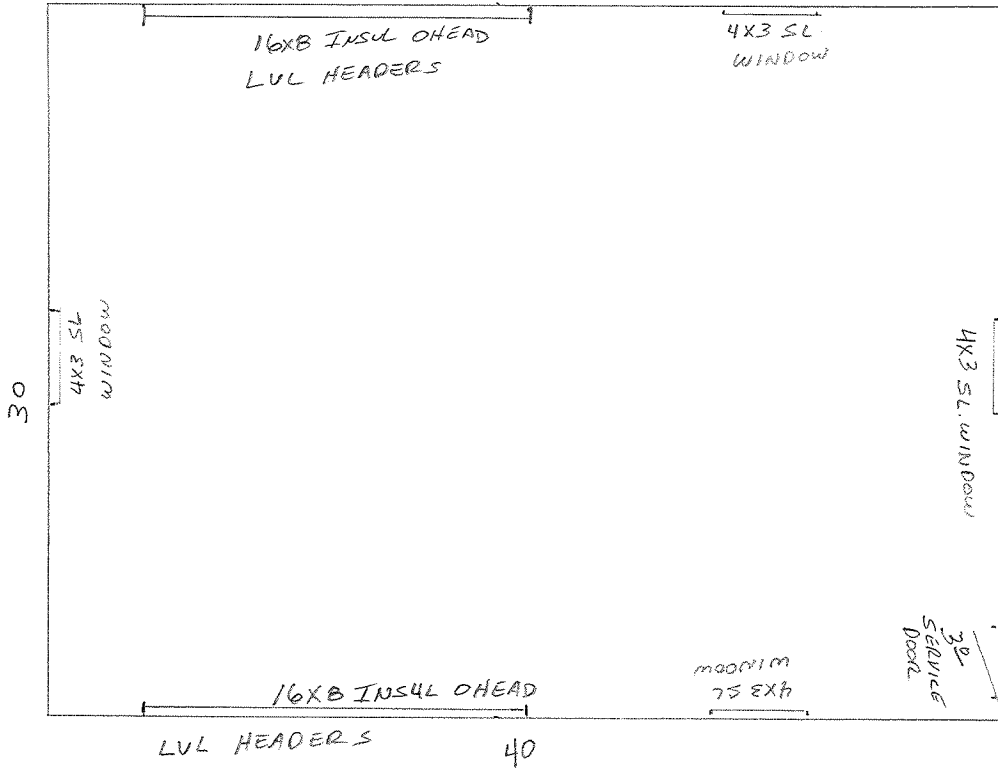
Specify Reason(s) for Application: (for example, insufficient lot area, setback, etc.)

ATTACH THE FOLLOWING:

- 1. Adjoining owners, all names and addresses of all abutting and opposite property owners within 200 feet.
- 2. Site Plan showing the area involved, its location, dimensions, elevations, drainage, parking, etc., and location of adjacent structures within 200 feet.

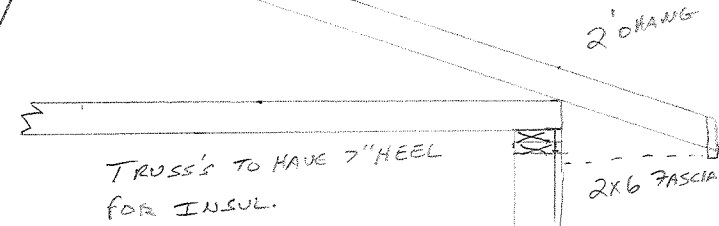
Date: 2/8 20 18

[Signature]
Signature of Applicant



15'
to
ridge

APPROX. 15'^{LS} TO PEAK OF BLDG.
4/12 PITCH w/D ROOF EDGE
ICE & WATER AT EAVES
15# FELT
SHINGLED ROOF w/ 1/2 OSB SHT



10' wall
height

7/16 OSB
SHT.
HOUSE WRAP

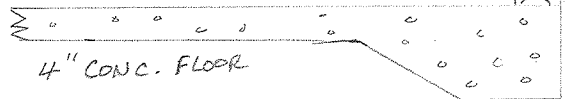
DAN HEDGES
615 JEFFERSON ST
WATERLOO WI 53594

2X6 FACED INSUL
IN WALLS w 7/16 OSB SHT
4 MIL POLY ON CEILING
w/ 7/16 OSB SHT
2X12 HEADER/SERVICE BR
& WINDOWS

VINYL SIDING
ALUM SOFFIT & FASCIA

TRUSSES 2'0.C. w/ 2'0 CHANGS

2X6 WALLS 2'0.C.
10' CEILING
2X6 TREATED BOTTOM PLATE
2X6 DOUBLE TOP PLATE



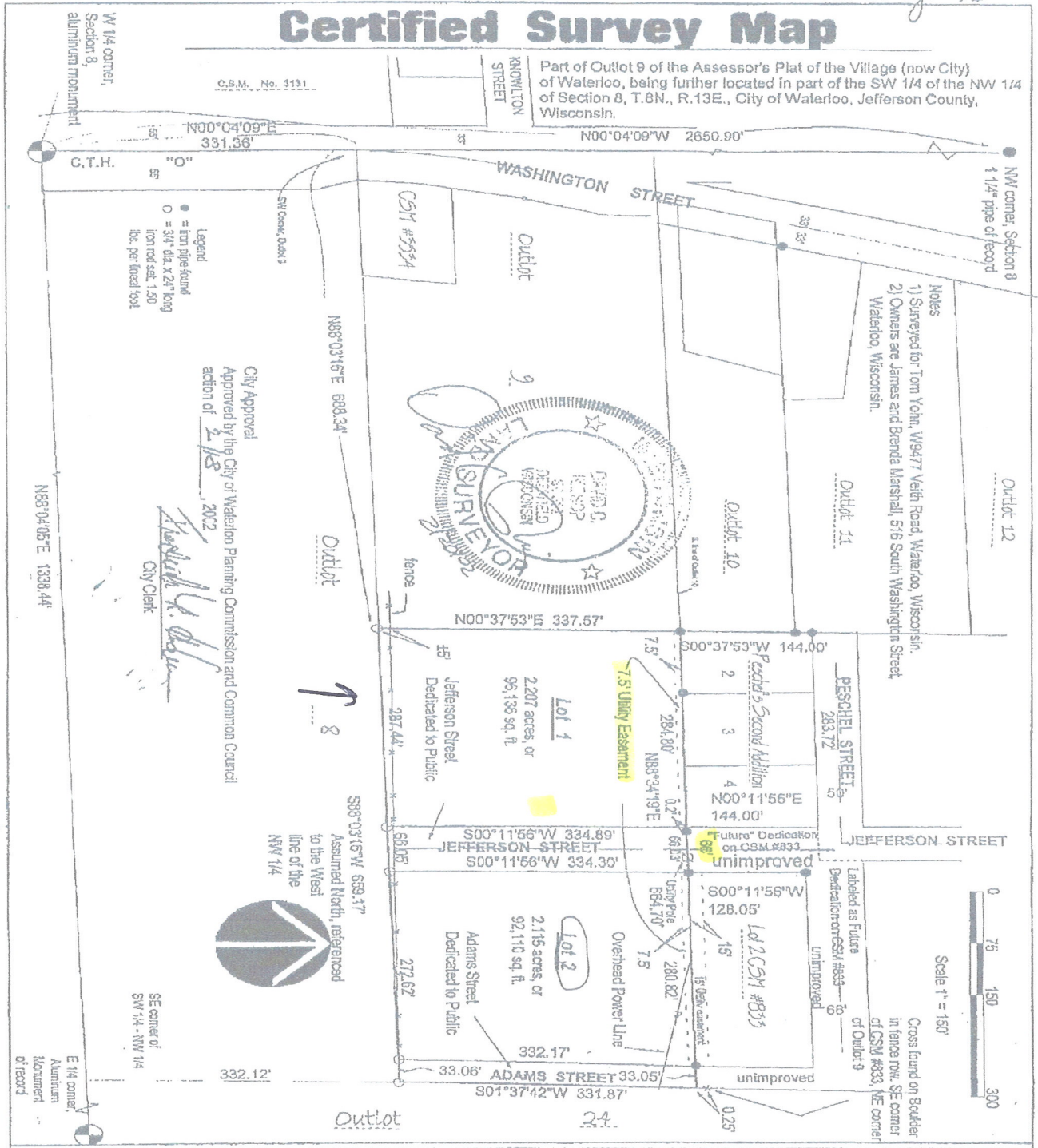
THICKENED
GRADE BEAM

615
JEFFERSON ST.

1080489

Vol. 31 Pg. 46

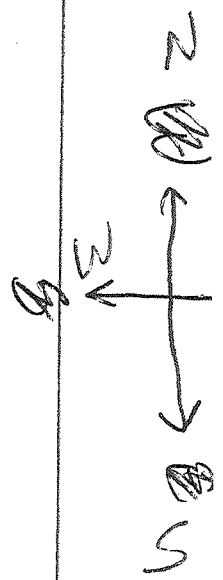
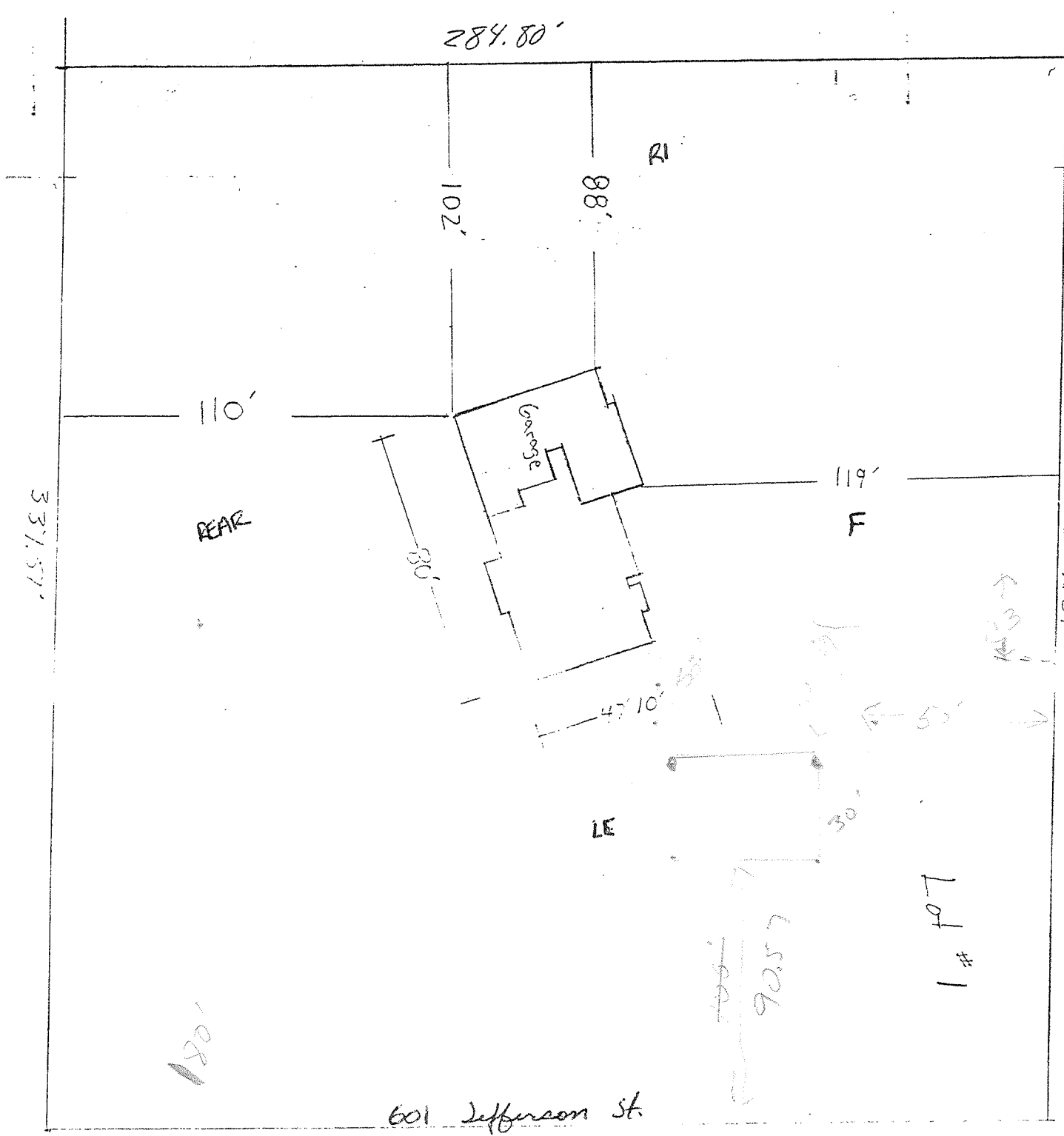
Certified Survey Map



Wisconsin Mapping

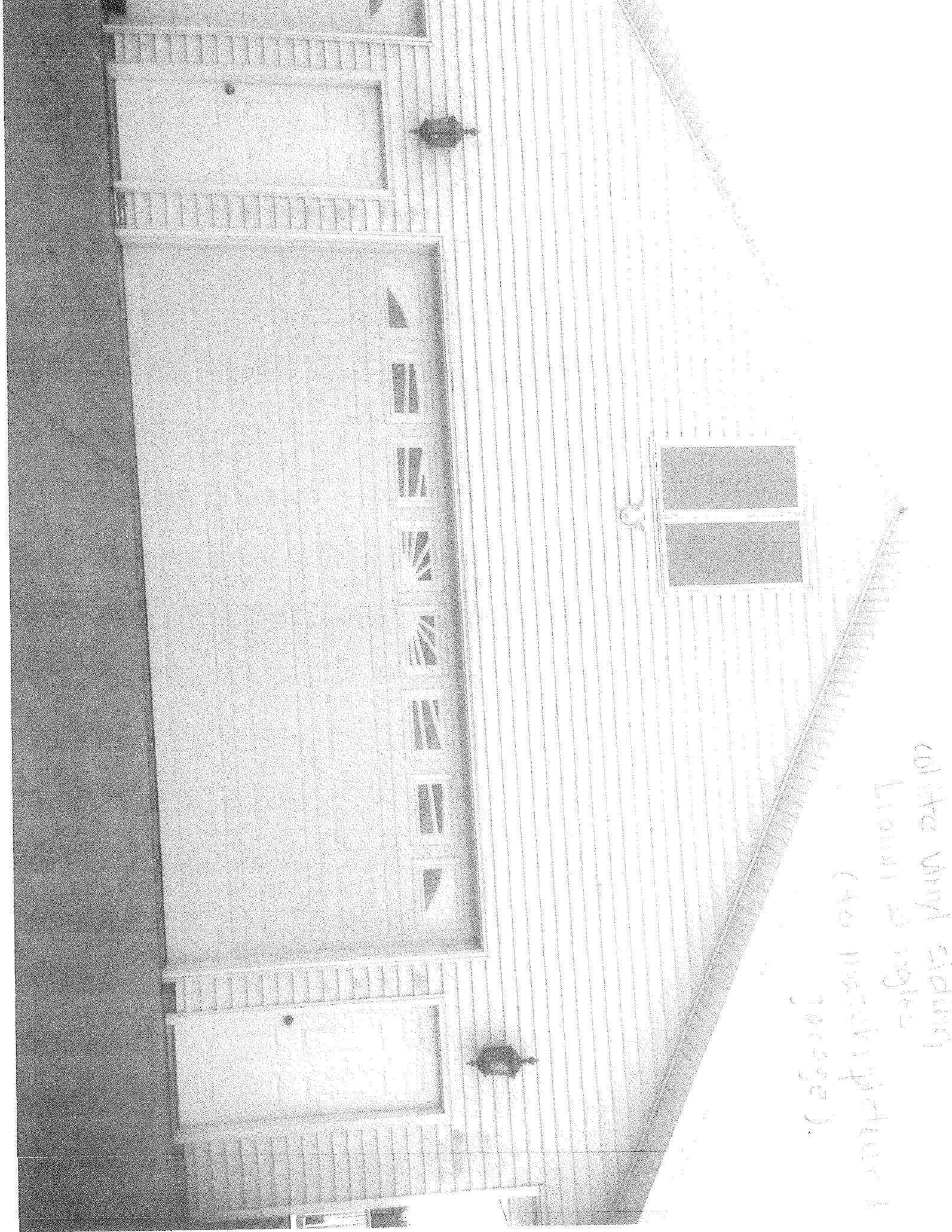
surveying and mapping services
 306 West Quarry Street, Deerfield, Wisconsin 53531
 (608) 754-5602

Dwg. No. 2575-02 Date 02/10/2002
 Sheet 1 of 2
 Document No. 1080489
 C. S. M. No. 4730 V. 31 P. 46



1
200

180'



white vinyl siding
Lionel & Roger
(no master picture
page).

R-2 $30' \times 40' = 1200 \text{ \textcircled{f}}$

Cond use Permit

1. To scale site plan

2. Const. DWGS

- FUR PLAN

- Elevation views

- material lot colors

(picture of garage)

Front 30'

Side 5'

Rear 5'

max 15' height

**CITY OF WATERLOO
PLAN COMMISSION APPLICATION
ARCHITECTURAL DESIGN REVIEW**

Date 02/13/18

The following information must be submitted one week prior to any Plan Commission meeting for staff review and agenda placement. The Plan Commission meets the 4th Tuesday of each month at 7:00 PM in the Council Chambers of City Hall, 136 North Monroe Street, Waterloo, WI 53594. In addition to this form, required fee, and three (3) sets of plans, the attached Checklist is required to be submitted two weeks in advance.

Project Address Lot located at north end of commercial Ave, Waterloo, WI 53594

Applicant Name Eric Salm Phone 608-441-8373

Address 505 S. Rosa Rd, Suite 123, Madison, WI 53719

Owner Name HIEP LLC Phone 608-441-8373


Address 505 S. Rosa Rd, Suite 123, Madison, WI 53719

Describe Project New construction of a 27,500 sqft production facility

Zoning M-1 Conforming Use (7) Manufacture, fabrication, processing, packaging and packing of food (except meat and meat products, fish and fish products, cabbage products or the vining of peas).

Date Received 02/13/18 Hearing Date 02/27/18

Fee _____ Received By _____



APPLICANT SIGNATURE

PLAN REQUIREMENTS LIST FOR ALL REVIEWS AND COMMENTS:

Three (3) sets of plans, with all information as listed on the Checklist

If applicable:

- Sign
- Timetable
- Pictures

PLAN SUBMITTAL CHECKLIST

Project: Ab E Discovery - HIEP Facility

Submitted by: George Cullen

Date submitted: 2-13-18

NOTE: Please include each applicable item listed below with all formal plan submittals. All boxes should be checked. Mark "N/A" if the item does not apply. ~~Nine copies of the plans must be submitted with this checklist as a single package~~ no later than 4:30 pm, Tuesday, one week prior to presentation at Plan Commission. **N/A - Submitted PDFs Digitally**

- 1. Show existing and proposed contours at an interval suitable to the topography and project. Contours should extend a minimum of 20' beyond property lines and nearby berms and swales and at least to the backs of curbs. **C-102**
- 2. Show square footage of:
 - a. Lot or parcel **C-101, AS1.0**
 - N/A** b. Existing impervious surface
 - c. Proposed total impervious **AS1.0**
 - N/A** d. Existing building
 - e. Proposed total building **AS1.0**
 - N/A** f. Existing parking and pavement
 - g. Proposed total parking and pavement. **AS1.0**
- 3. Show all relevant dimensions including:
 - a. Buildings **C-101, AS1.0**
 - b. Parking stalls **AS1.0**
 - c. Driveway widths **AS1.0**
 - d. Setbacks to buildings and other improvements **AS1.0**
 - e. Parking lot aisles, turnarounds, turning radii, etc. **AS1.0**
 - N/A** f. Distance from driveway to street corner if under 200'
 - g. Sidewalk, walkway and handicap ramp widths and locations with respect to street and right-of-way **AS1.0**
 - h. Widths of abutting R.O.W.'s, roadways, and terraces. **AS1.0**
- 4. Show dimensions and bearings of property lines. **V-101**
- 5. Show North Arrow and scale of drawing. **ALL PLANS**
- 6. Show City bench mark location and elevation to NGS datum. **V-101**
- 7. Show all existing and proposed surface materials (grass, bituminous, concrete, etc.) **AS1.0**

- 8. Show total number of required and proposed parking stalls. AS1.0
- 9. Show handicap parking stall and ramp locations. C-101, A1.1, AS1.0
- N/A 10. Show up or down arrows on loading or other ramps.
- 11. Show existing, proposed, & adjoining driveway approaches. C-101
- N/A 12. Show removal and replacement to City Specifications of concrete curb and gutter for all new curb cuts or as otherwise required.
- 13. Show rim and invert elevations of all drainage structures. C-103
- 14. Design surface drainage to bypass dumpster locations. C-103
- 15. Indicate proposed direction of roof drainage and show location of all roof gutter downspouts. A1.3
- 16. Show all existing and proposed public and private utility locations on and adjacent to site. C-103
- 17. Show location of nearest existing fire hydrants and proposed City and private fire hydrants. C-103
- 18. Show location and screening of refuse containers. A1.1, A2.0
- N/A 19. Show how recyclable materials will be handled.
- 20. Show proposed lighting for site including location, pole height, luminaire type and manufacturer's specifications. AS1.0, AS1.1
- 21. Provide drawings of proposed building with elevation views showing proposed materials and colors. A2.0
- N/A 22. Include elevation view of rooftop mechanicals and required screening design, materials, and colors. No Rooftop Mechanical
- N/A 23. Include statement of historical landmark designation status.
- 24. Include name of designer, P.E. stamp and signature on final plans. G0.1
- 25. Include Erosion Control Plan. Include note on plan stating: "Additional erosion control measures will be installed as needed." C-103
- 26. Include Landscape Plan. C-104

AB E DISCOVERY - NEW HIEP FACILITY

COMMERCIAL AVE.
WATERLOO, WI



A EXTERIOR 3D VIEW

Architecture : Dimension IV - Madison Design Group
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608.829.4444 www.dimensionivmadison.com

General Contractor: JP Cullen
1 S. Pinckney Street, Suite 330, Madison, WI 53703
p: 608.757.6777 www.jpccullen.com

Civil Engineering: Quam Engineering, LLC
4604 Sigelkow Road, Suite A, McFarland, WI 53558
p: 608.838.7750 www.quamengineering.com

Structural Engineering: Strategic Structural Design, LLC
725 Heartland Trail, Suite 203, Madison, WI 53717
www.strategicstructural.com

MEP Engineering: DESIGN / BUILD BY CONTRACTOR

LIST OF DRAWINGS

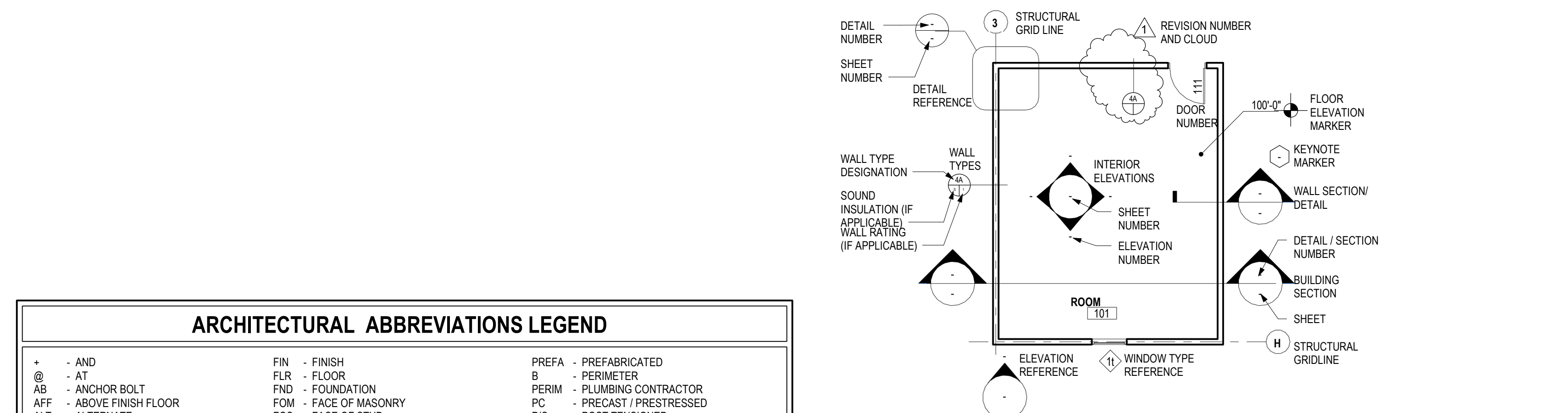
PROJECT/BUILDING DATA:

NEW 1 STORY BUILDING WITH MEZZANINE
BUILDING AREAS
TOTAL BUILDING AREA = 27,500 SQFT
FIRST FLOOR TOTAL AREA = 25,000 SQFT
OFFICE SPACE = 3,125 SQFT
R&D LAB = 1,875 SQFT
FACTORY = 20,000 SQFT
MEZZANINE FLOOR TOTAL AREA = 2,500 SQFT
OFFICE SPACE = 900 SQFT
WAREHOUSE = 1,600 SQFT
PARKING COUNTS
TOTAL SURFACE PARKING SPACES = 25
TOTAL ACCESSIBLE SPACES = 2

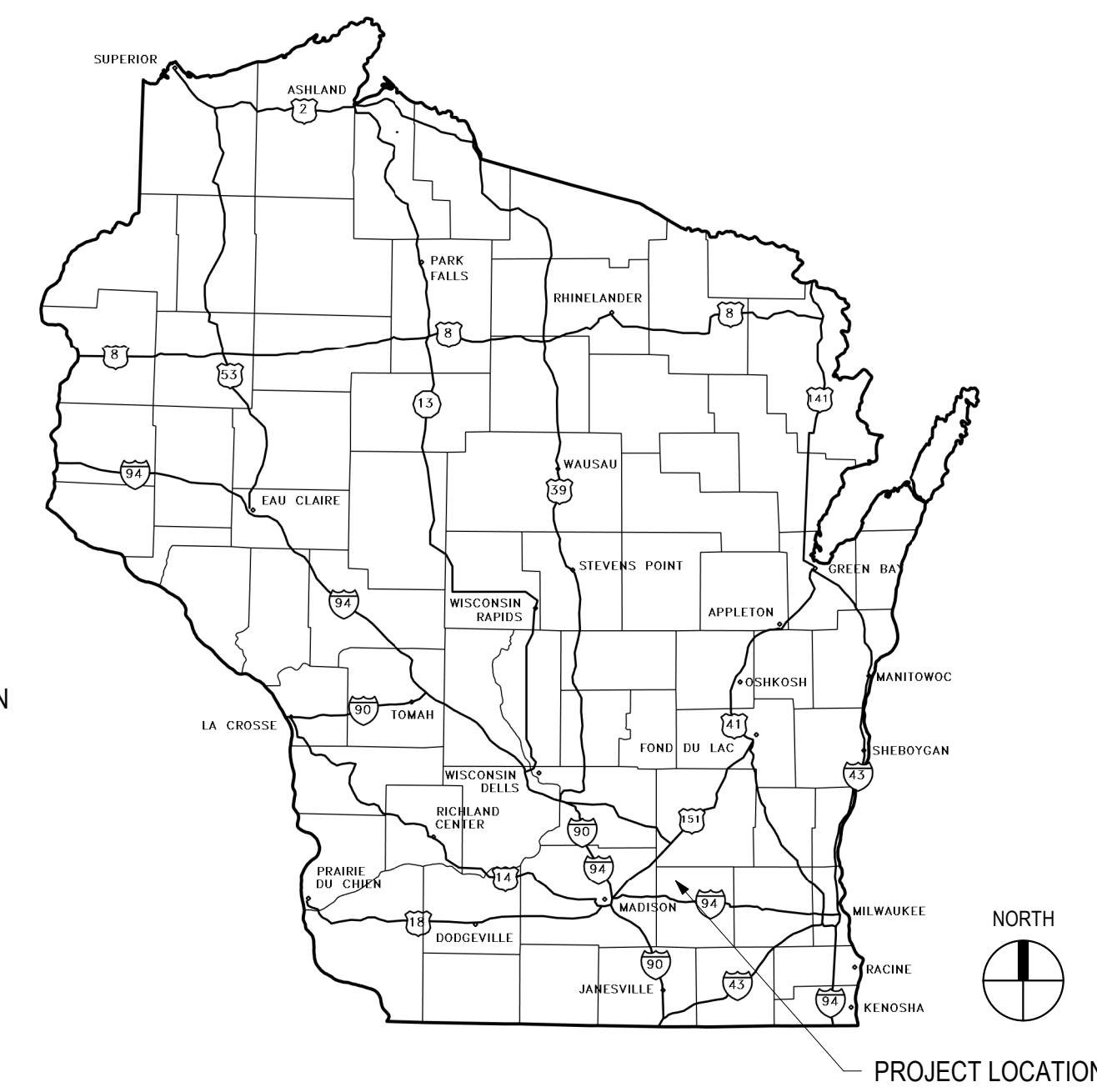
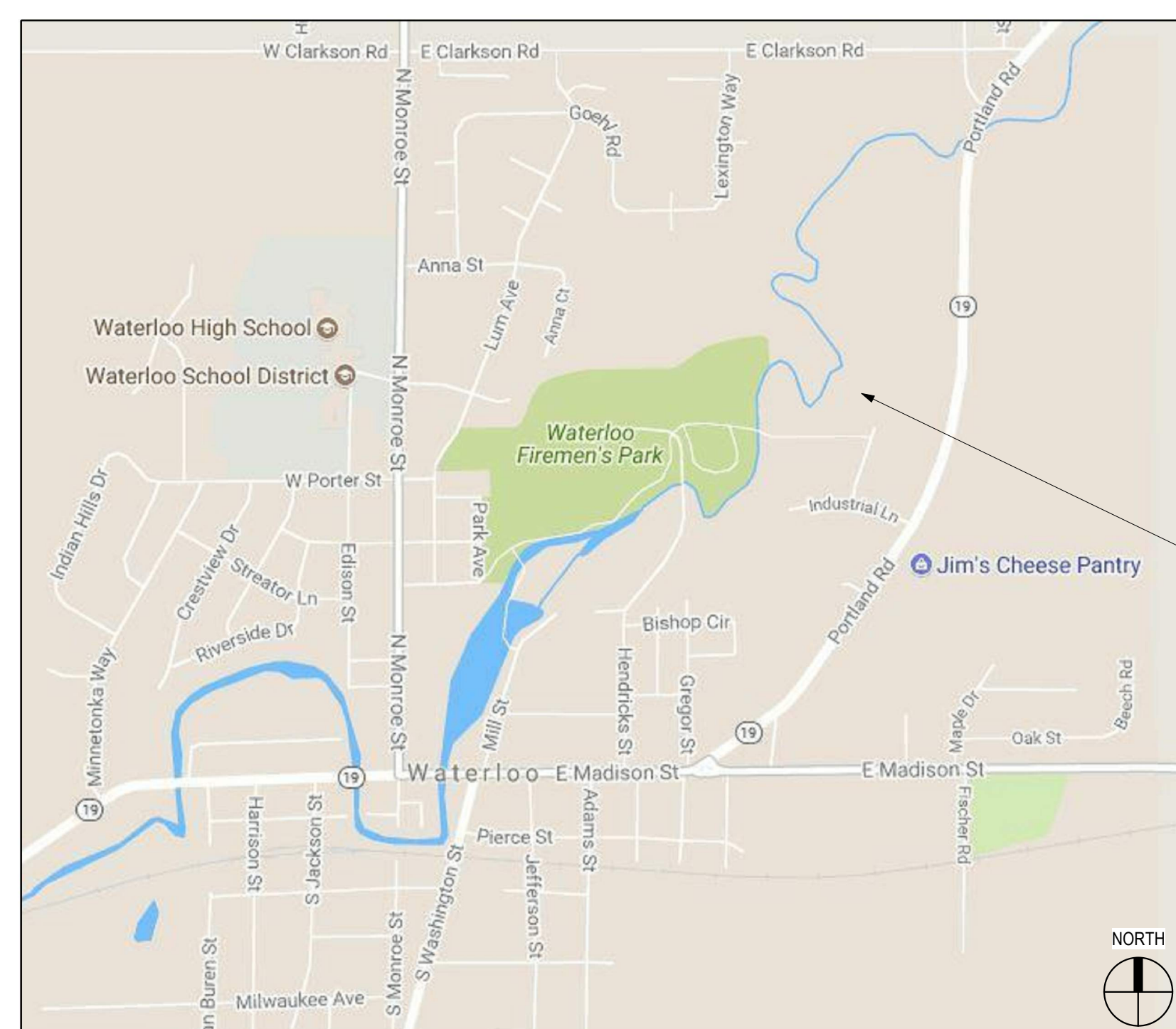
GENERAL	CIVIL	ARCHITECTURAL
G0.1 COVER SHEET	C-101 OVERALL SITE PLAN	AS1.0 ARCHITECTURAL SITE PLAN
G1.1 CODE COMPLIANCE PLAN	C-102 PRELIMINARY GRADING AND EROSION CONTROL PLAN	AS1.1 SITE LIGHTING MNFR CUT SHEETS
V-101 SURVEY	C-103 PRELIMINARY UTILITY PLAN	
	C-104 LANDSCAPE PLAN	

CODE INFORMATION SUMMARY:

APPLICABLE CODE
2009 WISCONSIN COMMERCIAL BUILDING CODE
CONSTRUCTION TYPE
TYPE IIB = METAL FRAME UNPROTECTED
OCCUPANCY
F-2 FACTORY LOW-HAZARD
B BUSINESS
FIRE SPRINKLER
BUILDING IS FULLY SPRINKLERED
NFPA 13 = ENTIRE BUILDING
FIRE RESISTANCE RATING BUILDING ELEMENTS
STRUCTURAL FRAME (COLUMNS & BEAMS) = NO RATING
BEARING WALLS (EXTERIOR AND INTERIOR) = NO RATING
NON-BEARING WALLS (EXTERIOR) = NO RATING
FLOOR = NO RATING
ROOF = NO RATING
ALLOWABLE AREA AND HEIGHT SUMMARY
ALLOWABLE AREA = 69,000 SF FOR SPRINKLERED BUILDING
TOTAL BUILDING AREA = 27,500 SF
SEE CODE COMPLIANCE PLANS FOR MORE INFORMATION

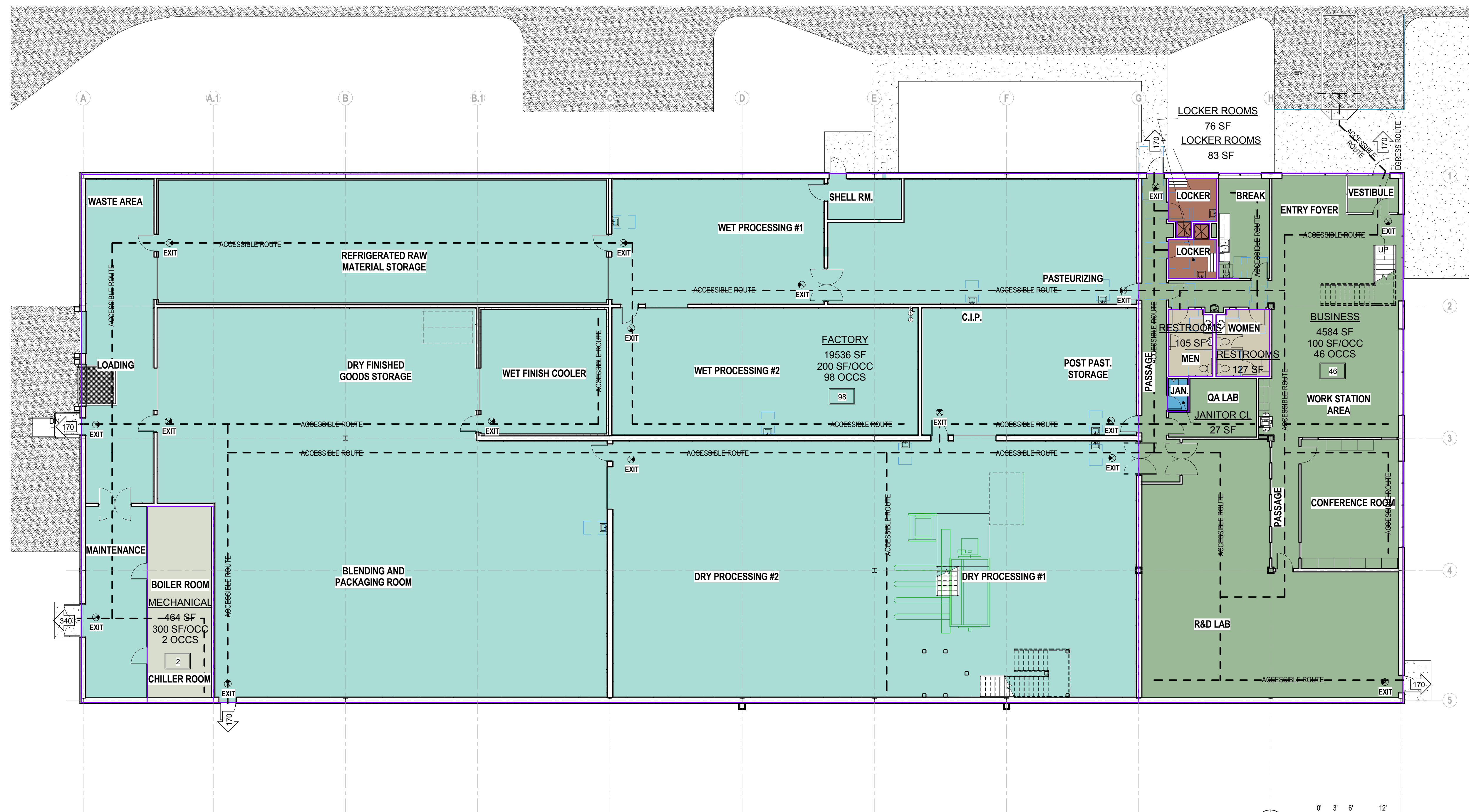


ARCHITECTURAL ABBREVIATIONS LEGEND		
- AND	FIN - FINISH	PREFAB - PREFABRICATED
@ - AT	FLR - FLOOR	B - PERIMETER
AB - ANCHOR BOLT	FND - FOUNDATION	PLB - PLUMBING CONTRACTOR
AFF - ABOVE FINISH FLOOR	FOM - FACE OF MASONRY	PC - PRECAST / PRESTRESSED
ALT - ALTERNATE	FOS - FACE OF STUD	PC - POST TENSIONED
ALUM - ALUMINUM	FTG - FOOTING	PT - PRESSURE TREATED
ARCH - ARCHITECT / ARCHITECTURAL	FUT - FUTURE	PT - RADIUS
BRD - BOARD	FV - FIELD VERIFY	R - ROOF DRAIN
BK - BLOCK (CMU)	GA - GAUGE	RD - REINFORCING
BOT - BOTTOM	GALV - GALVANIZED	REIN - REQUIRED
CB - CATCH BASIN	GB - GRAB BAR	REQD - ROOM
CIP - CAST-IN-PLACE	GC - GENERAL CONTRACTOR	RM - ROOM
CL - CONSTRUCTION JOINT	GYP - GYPSUM	SCHED - SCHEDULE
CL - CENTERLINE	HC - HVAC CONTRACTOR	SHT - SHEET
CLG - CEILING	HM - HOLLOW METAL	SHT - SIMILAR
CLI - CONTROL JOINT	HORIZ - HORIZONTAL	SIM - SLAB ON GRADE
CLR - CLEAR DISTANCE	HT - HEIGHT	SOG - SPECIFICATION
CMU - CONCRETE MASONRY UNIT	HVAC - HEATING, VENTILATION & AIR CONDITIONING	SPEC - SQUARE
CO - CASED OPENING	HR - HOUR	SS - STAINLESS STEEL
COL - COLUMN	ID - INSIDE DIAMETER	STL - STEEL
CONC - CONCRETE	I.F. - INSIDE FACE	STR - STRUCTURAL
CONT - CONTINUOUS	INSUL - INSULATION	THK - THICKNESS
CU - CUBIC	INT - INTERIOR	TOL - TOP OF LEDGE ELEVATION
DBL - DOUBLE	ISE - JOIST BEARING ELEVATION	TOP - TOP OF FIER ELEVATION
DF - DRINKING FOUNTAIN	JT - JOINT	TP - TOILET PAPER DISPENSER
DM - DIAMETER	L - LAMINATE	TS - (SEE HIGH STRENGTH STEEL DESIGNATION)
DN - DOWN	LVL - LAMINATED VENEER LUMBER	TYP - TYPICAL
DS - DOWN SPOUT	MAX - MAXIMUM	TOW - TOP OF WALL ELEVATION
DTL - DETAIL	MBW - MASONRY BEARING WALL	
DWG - DRAWING	MFG - MANUFACTURER	
EA - EACH	MIN - MINIMUM	
EC - ELECTRICAL CONTRACTOR	MO - MASONRY OPENING	
EIPS - EXTERIOR INSULATION FINISH SYSTEM	MTL - METAL	
EL - ELEVATION	NIC - NOT IN CONTRACT	
ELEV - ELEVATOR	NOM - NOMINAL	
ENG - ENGINEER	NTS - NOT TO SCALE	
EQ - EQUAL	NO - NUMBER	
EXIST - EXISTING	OC - ON CENTER	
EXP - EXPANSION	OD - OUTSIDE DIAMETER	
EXT - EXTERIOR	O.F. - OUTSIDE FACE	
FD - FLOOR DRAIN	OH - OVERHEAD	
FND - FOUNDATION	OPCI - OWNER PROVIDED, CONTRACTOR INSTALLED	
FE - FIRE EXTINGUISHER	OPDI - OWNER PROVIDED, OWNER INSTALLED	
FEC - FIRE EXTINGUISHER CABINET	OPNG - OPENING	
FF - FINISH FLOOR	OPP - OPPOSITE	



**AB E DISCOVERY -
NEW HIEP FACILITY**

COMMERCIAL AVE.
WATERLOO, WI



1 FIRST FLOOR
3/32" = 1'-0"

2 MEZZANINE
3/32" = 1'-0"

OCCUPANCY LEGEND

- BUSINESS
- FACTORY
- JANITOR CL
- LOCKER ROOMS
- MECHANICAL
- RESTROOMS
- WAREHOUSE

AREAS AND OCCUPANCIES

OCCUPANCY TYPE	AREA	OCC FACTOR	OCC TOTAL
BUSINESS (B)	5488 SF	100	55
FACTORY (F-1)	19536 SF	200	98
JANITOR CLOSET	22 SF	0	0
LOCKER ROOMS	159 SF	50	4
MECHANICAL	464 SF	300	2
RESTROOMS	232 SF	0	0
WAREHOUSE	1600 SF	500	4
TOTALS	27500 SF		163

PLUMBING FIXTURE COUNT

TOTAL OCCUPANTS: 164
MEN: 82
WOMEN: 82

FIXTURE	MEN		WOMEN	
	REQ'D	PROVIDED	REQ'D	PROVIDED
LAV	2	2	2	2
WC	1	1	2	2
URINAL	1	1		
SERVICE SINK	1	1		
DRINKING FOUNTAIN	1	1		

CODE COMPLIANCE GENERAL NOTES

- A. REFER TO SHEET A7.0 FOR ACCESSIBLE MOUNTING AND CLEARANCES INFORMATION.
- B. ALL FIRE EXTINGUISHER CABINETS SHALL BE IN APPROVED LOCATIONS WITH A MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER TO BE 75 FEET PER I.F.C.
- C. COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 100 FT PER 1014.3.
- D. EXIT ACCESS TRAVEL DISTANCE IS 'XXX' WITH SPRINKLERS PER TABLE 1016.1.
- E. FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED IN THE FIELD WITH SIGNS OR STENCILING PER IBC 703.6

CODE COMPLIANCE SYMBOLS LEGEND

- FEC INDICATES FIRE EXTINGUISHER CABINET LOCATION
- XXX INDICATES OCCUPANCY CAPACITY
- INDICATES ADA ACCESSIBLE ROUTE
- XXX INDICATES EXIT AND EXIT CAPACITY
- EXIT INDICATES EXIT SIGN
- INDICATES PATH OF EGRESS ROUTE

DATE OF ISSUE: 02/13/18

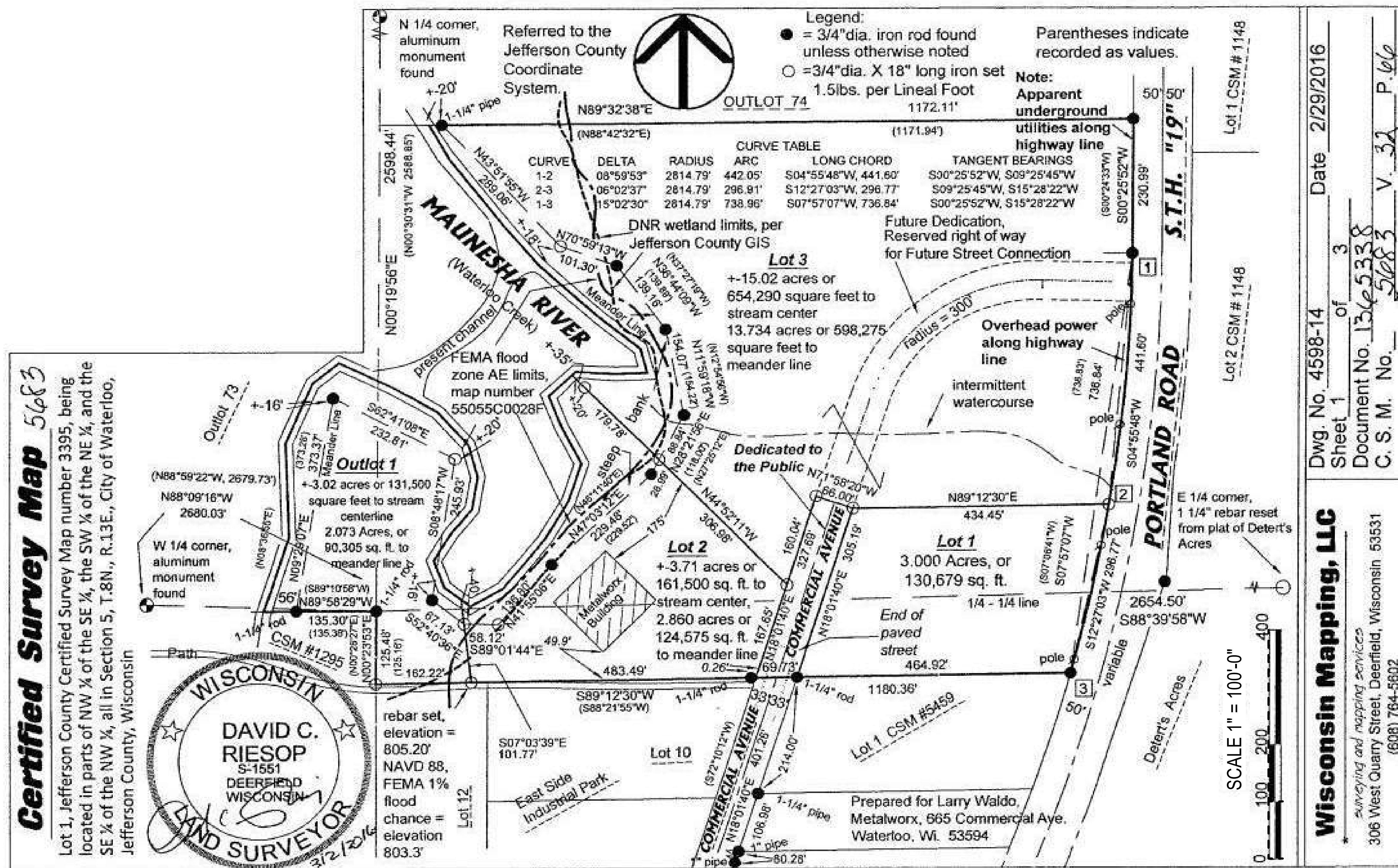
PRELIMINARY
Not for
Construction

PROJECT # 17112

**CODE COMPLIANCE
PLAN**

G1.1

2/13/2018 11:15:27 AM C:\Users\cull\Documents\17112 - AE Discovery - New HIEP Facility\cullenvp1.dwg



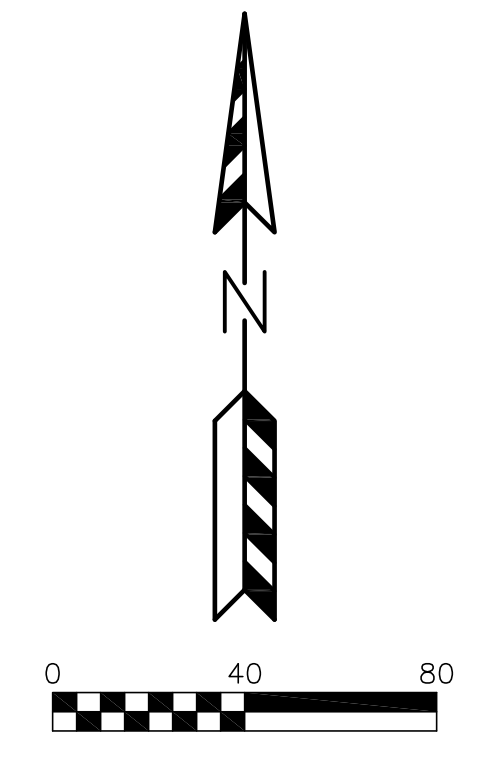
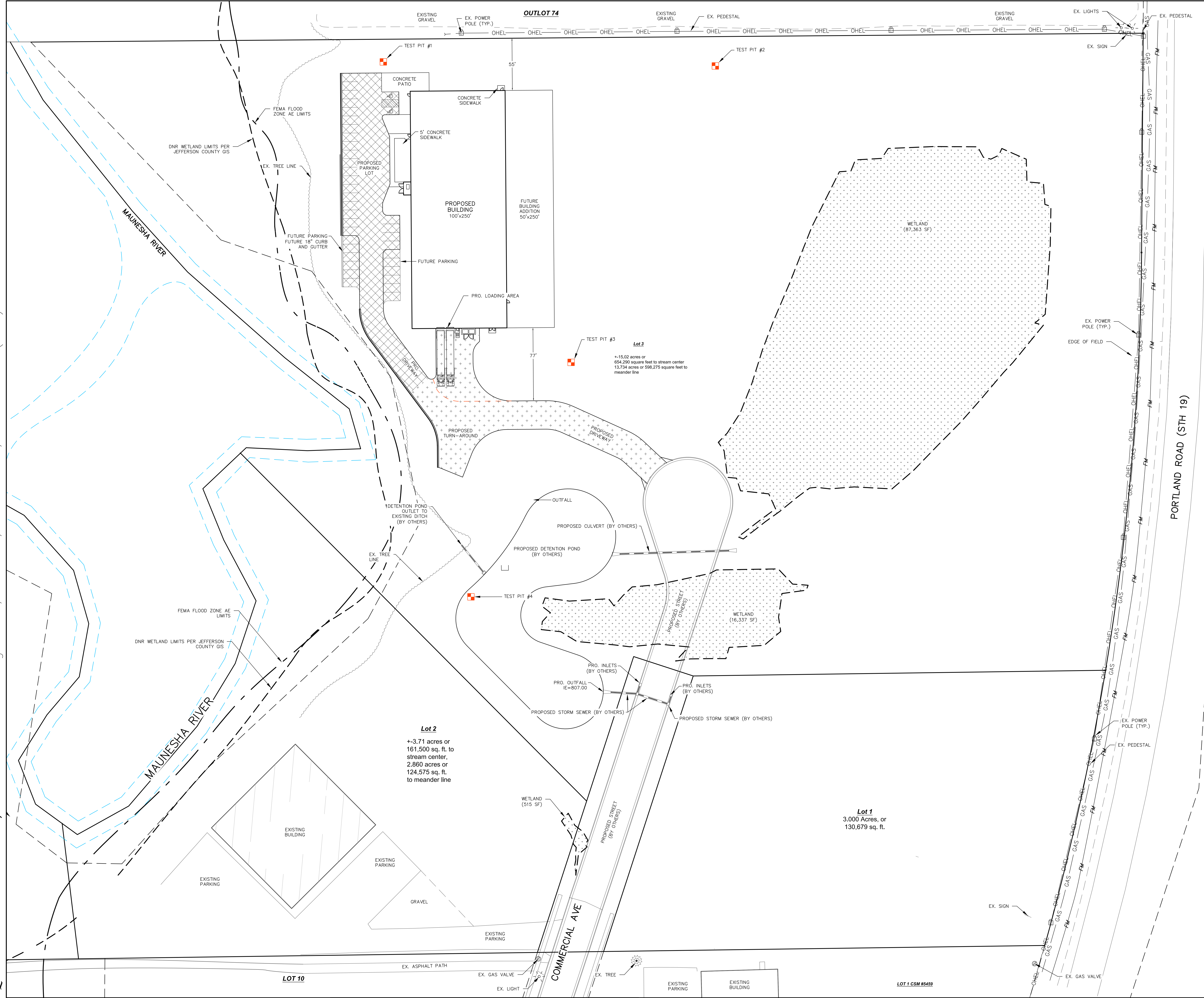
DATE OF ISSUE: 02/13/18

PRELIMINARY
Not for Construction

PROJECT # 17112

SURVEY

V-101



- PAVEMENT NOTES:**
1. PAVEMENT SECTION DESIGNS ARE TAKEN FROM THE GEOTECHNICAL EXPLORATION REPORT (C17497) AS PREPARED BY CGC, INC. ON DECEMBER 5, 2017, TELEPHONE (262) 288-4100. REFERENCE THIS REPORT (C17497) FOR COMPLETE DESIGN SPECIFICATION AND DETAILED RECOMMENDATIONS.
 2. WITHIN 48 HOURS PRIOR TO ANY PAVING OPERATION, THE CONTRACTOR SHALL PERFORM SUBGRADE COMPACTION AND PROOF ROLL TESTS ON PREPARED SUBGRADE TO VERIFY THAT SUBGRADE HAS NOT DEGRADATED DURING PROJECT CONSTRUCTION AS DIRECTED BY THE ENGINEER. UNLESS OTHERWISE NOTED, ALL CONCRETE TO BE BROOM FINISHED.
 3. ALL ASPHALT THAT ABUTS CONCRETE IS TO BE FINISHED AT 1/2 INCH ABOVE FINISHED CONCRETE ELEVATION.
 4. ALL PAVING WORK SHALL CONFORM TO THE STATE OF WISCONSIN STANDARD SPECIFICATIONS.

- PAVING LEGEND**
- LIGHT DUTY
 - 1 1/2" - 5 LT 58-28 S SURFACE
 - 2" - 4 LT 58-28 S BINDER
 - 10" CRUSHED STONE AGGREGATE
 - HEAVY DUTY
 - 1 3/4" - 4 LT 58-28 H SURFACE
 - 2 1/4" - 3 LT 58-28 H BINDER
 - 12" CRUSHED STONE AGGREGATE

- NOTES:**
1. AGGREGATE BASE MATERIAL SHALL MEET WISCONSIN STANDARD SPECIFICATIONS FOR CRUSHED AGGREGATE BASE COURSE.
 2. THE UPPER 4" SHALL BE 1 1/4" DENSE GRADED BASE COURSE, THE BOTTOM PART CAN BE 3" DENSE GRADED BASE COURSE.

Lot 2
 +/-3.71 acres or
 161,500 sq. ft. to
 stream center,
 2,860 acres or
 124,575 sq. ft.
 to meander line

Lot 3
 +/-15.02 acres or
 654,200 square feet to stream center,
 13,734 acres or 598,275 square feet to
 meander line

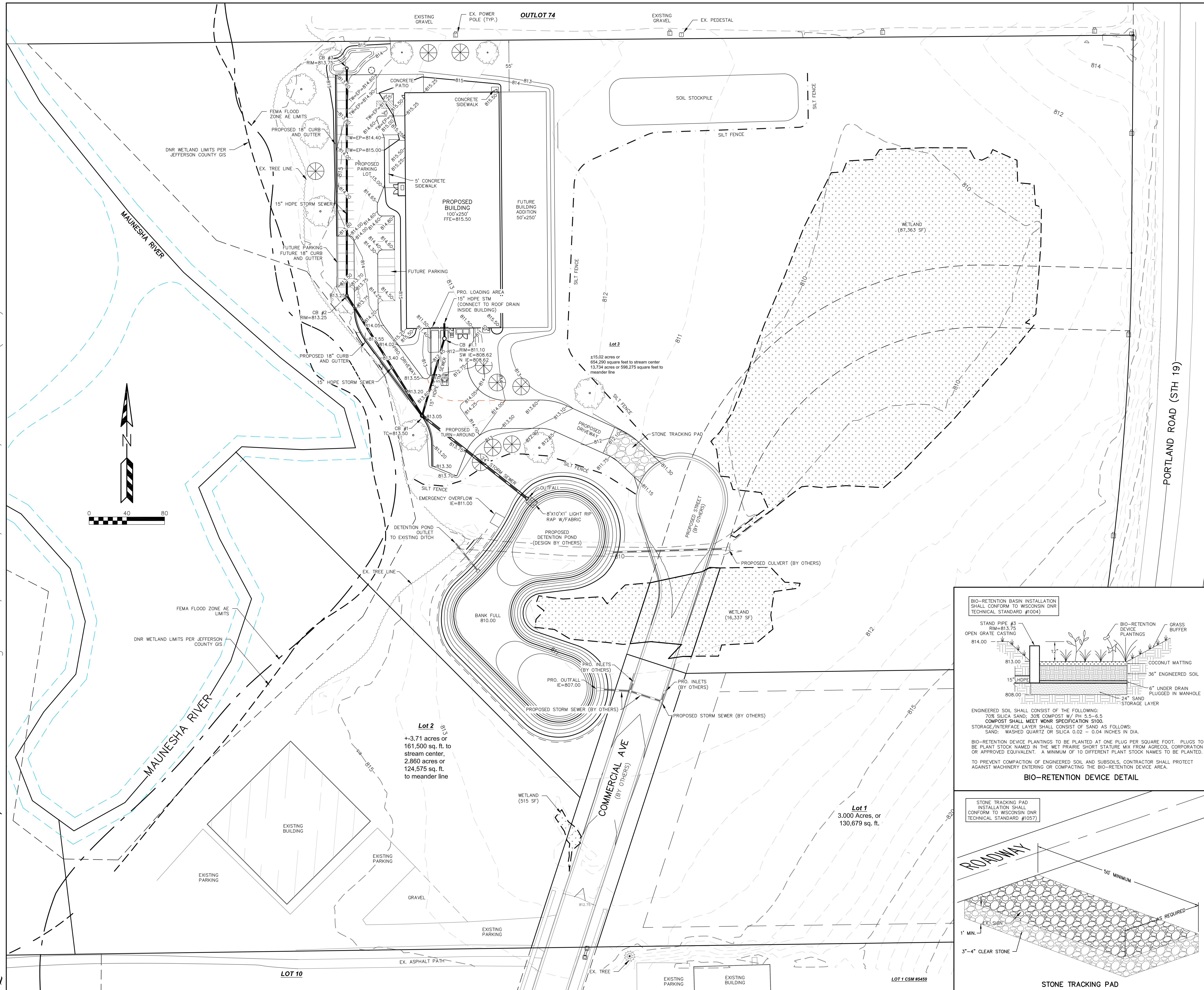
Lot 1
 3,000 Acres, or
 130,679 sq. ft.

Ab E DISCOVERY, LLC - WATERLOO
 OVERALL SITE PLAN
 DATED: FEBRUARY 12, 2018

C-101

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants

1519 E Washington Street, Suite A; West Bend, Wisconsin 53095
 Phone (262) 338-6641; www.quamengineering.com



EROSION NOTES:
 THE STONE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
 SOIL STOCKPILES SHALL BE LOCATED A MINIMUM OF 75 FEET FROM LAKES, STREAMS, WETLANDS, DITCHES, DRAINAGE WAYS, CURBS AND GUTTERS OR OTHER STORMWATER CONVEYANCE SYSTEM, UNLESS OTHERWISE APPROVED BY THE ENGINEER. MEASURES SHALL BE TAKEN TO MINIMIZE EROSION AND RUNOFF FROM ANY SOIL STOCKPILES THAT WILL LIKELY REMAIN FOR MORE THAN FIVE WORKING DAYS. ANY STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
 EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONSTRUCTING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
 ALL DISTURBED SLOPES OF 4:1 OR GREATER AND DRAINAGE SWALES SHALL BE STABILIZED WITH CURLEX EROSION CONTROL FABRIC (INSTALL PER MANUFACTURER'S SPECIFICATIONS).

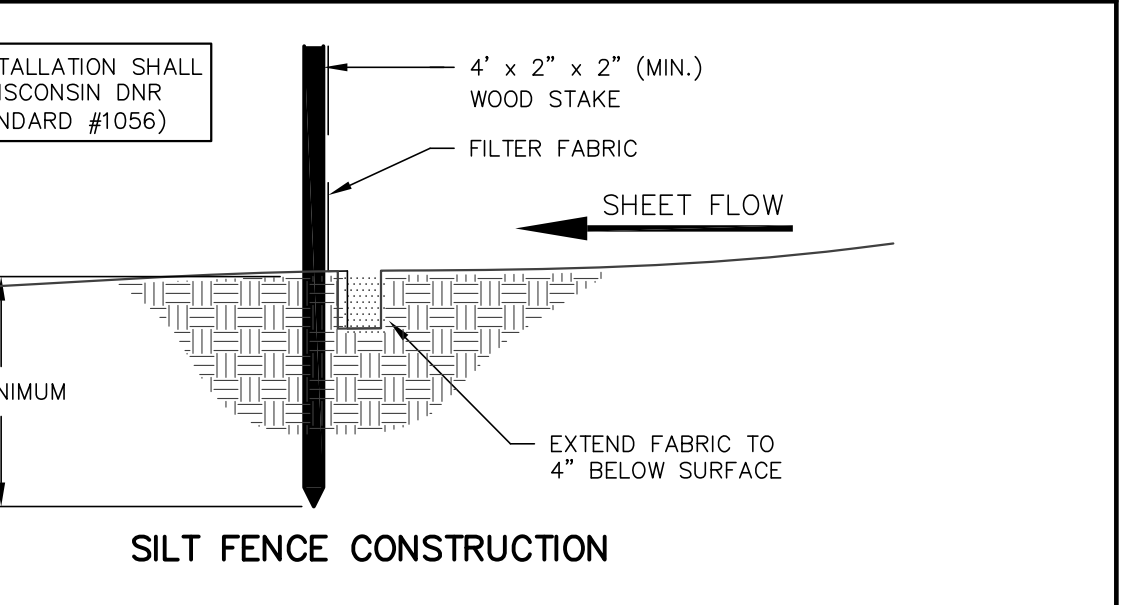
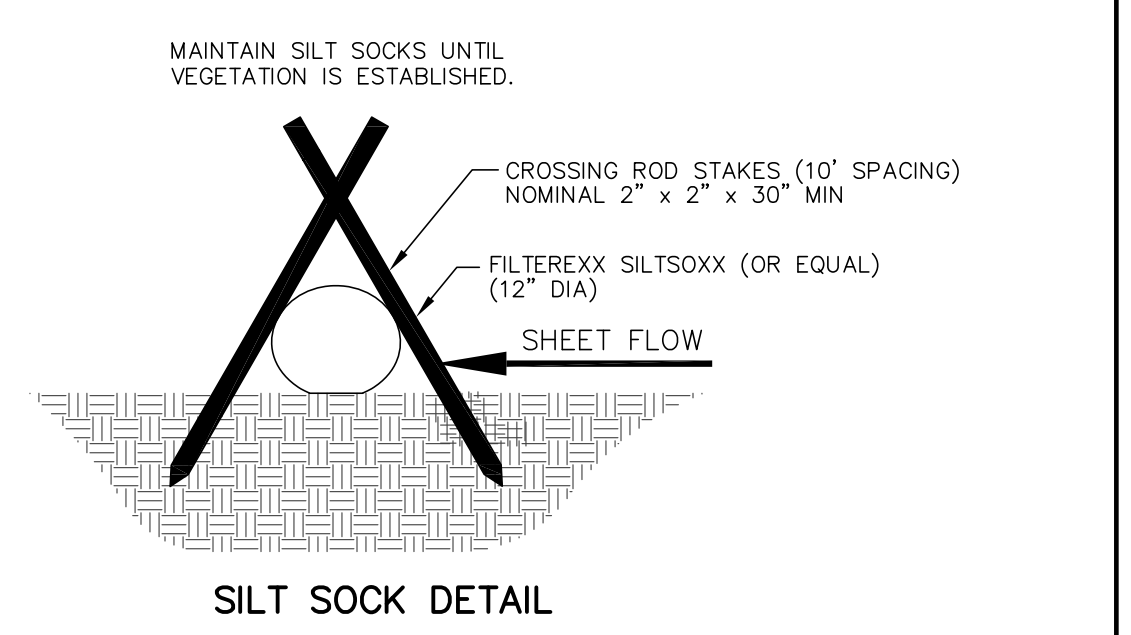
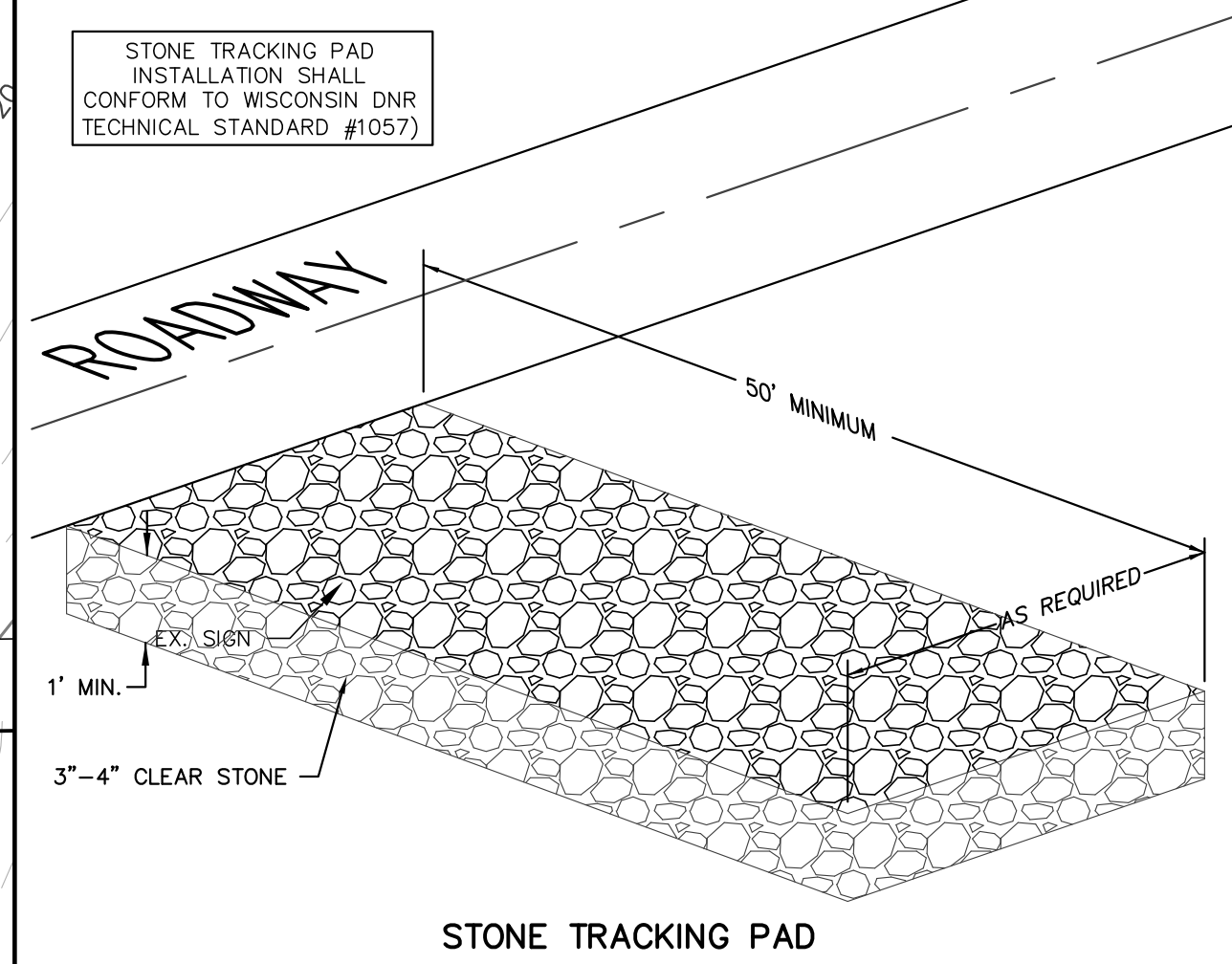
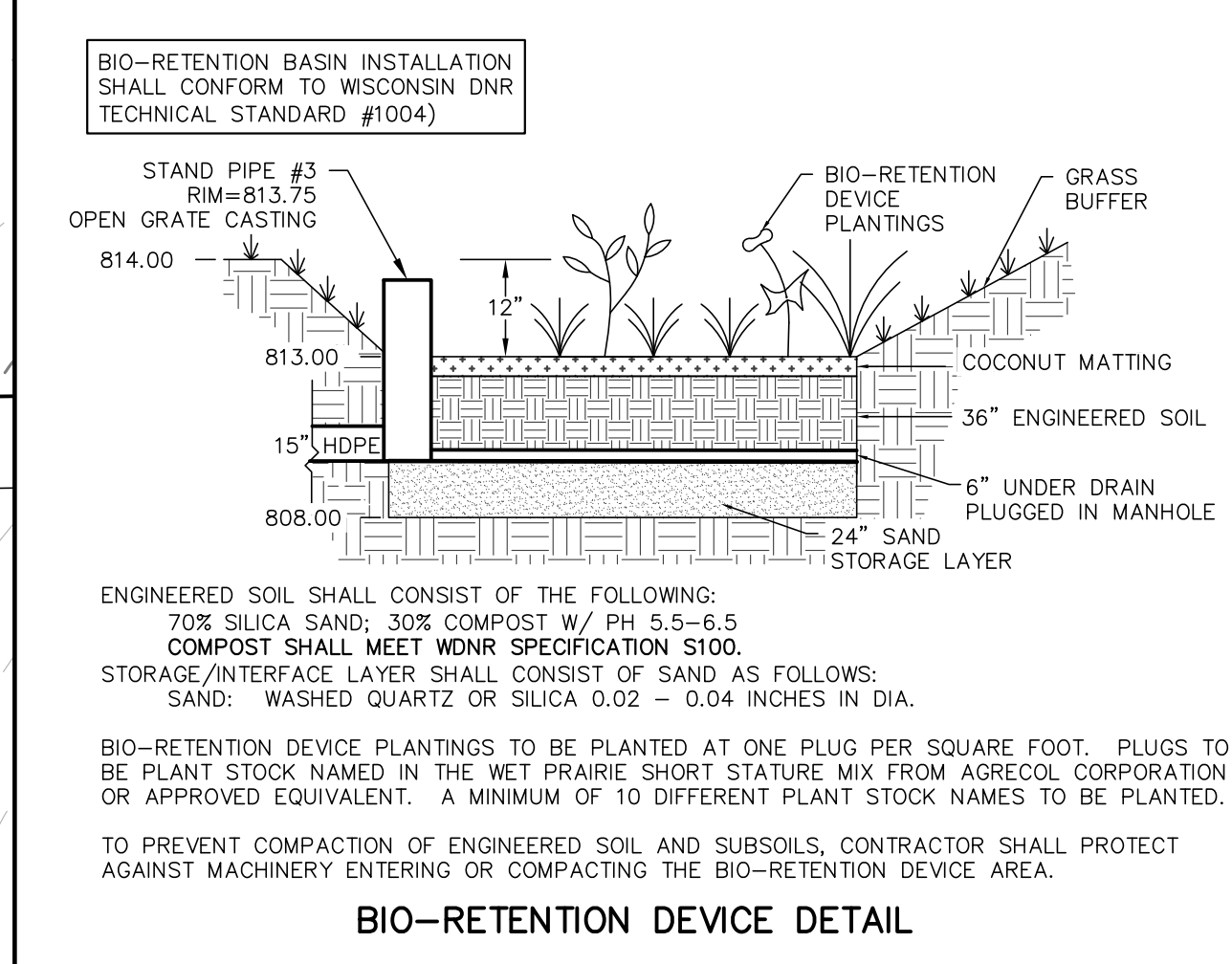
TIME SCHEDULE:
 APRIL 1, 2018 INSTALL INITIAL EROSION CONTROL DEVICES.
 APRIL 16 - MARCH 1, 2019 CONSTRUCT PROPOSED BUILDING, PARKING LOT AND UTILITIES.
 MARCH 1 - 10, 2019 COMPLETE FINAL LANDSCAPING CONSTRUCT BIO-RETENTION DEVICE AND RESTORE ALL PVIOUSLY DISTURBED AREAS.

RESTORATION NOTES:
 ALL DISTURBED AREAS, EXCEPT STREET PAVEMENT AND SIDEWALK AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. TURF AREAS WITH SLOPES GREATER THAN 4:1 SHALL BE SEED WITH SHORT PRAIRIE MIX OR EQUAL. ALL OTHER DISTURBED AREAS SHALL BE SEED WITH MADISON PARKS MIX OR EQUAL. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS.
 AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 6%.
 ALL FINISH GRADED AREAS SHALL BE SEED AND MULCHED BY SEPTEMBER 15TH. IF THE SITE DOES NOT HAVE FINISH GRADED AREAS COMPLETED BY OCTOBER 15TH, ALL DISTURBED AREAS SHALL BE RESTORED WITH TEMPORARY SEEDING (COVER CROP) AREAS NEEDING PROTECTION DURING PERIODS WHEN PERMANENT SEEDING IS NOT APPLIED SHALL BE SEED WITH ANNUAL SPECIES FOR TEMPORARY PROTECTION. SEE TABLE 1 OF THE WISCONSIN DNR CONSERVATION PRACTICE STANDARD 1059, FOR SEEDING RATES OF COMMONLY USED SPECIES. THE RESIDUE FROM THIS CROP MAY EITHER BE INCORPORATED INTO THE SOIL DURING SEEDING PREPARATION AT THE NEXT PERMANENT SEEDING PERIOD OR LEFT ON THE SOIL SURFACE AND THE PLANTING MADE AS A NO-TILL SEEDING.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SATISFACTORY STAND OF GRASS ON ALL SEEDING AREAS FOR ONE YEAR AFTER THE PROJECT'S FINAL ACCEPTANCE.

OWNER:
 AB E DISCOVERY, LLC
 505 S. ROSA ROAD, SUITE 123
 MADISON, WI 53719

ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: KEVIN PARKS
 1519 E. WASHINGTON STREET, SUITE A
 WEST BEND, WI 53095

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289
 WS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

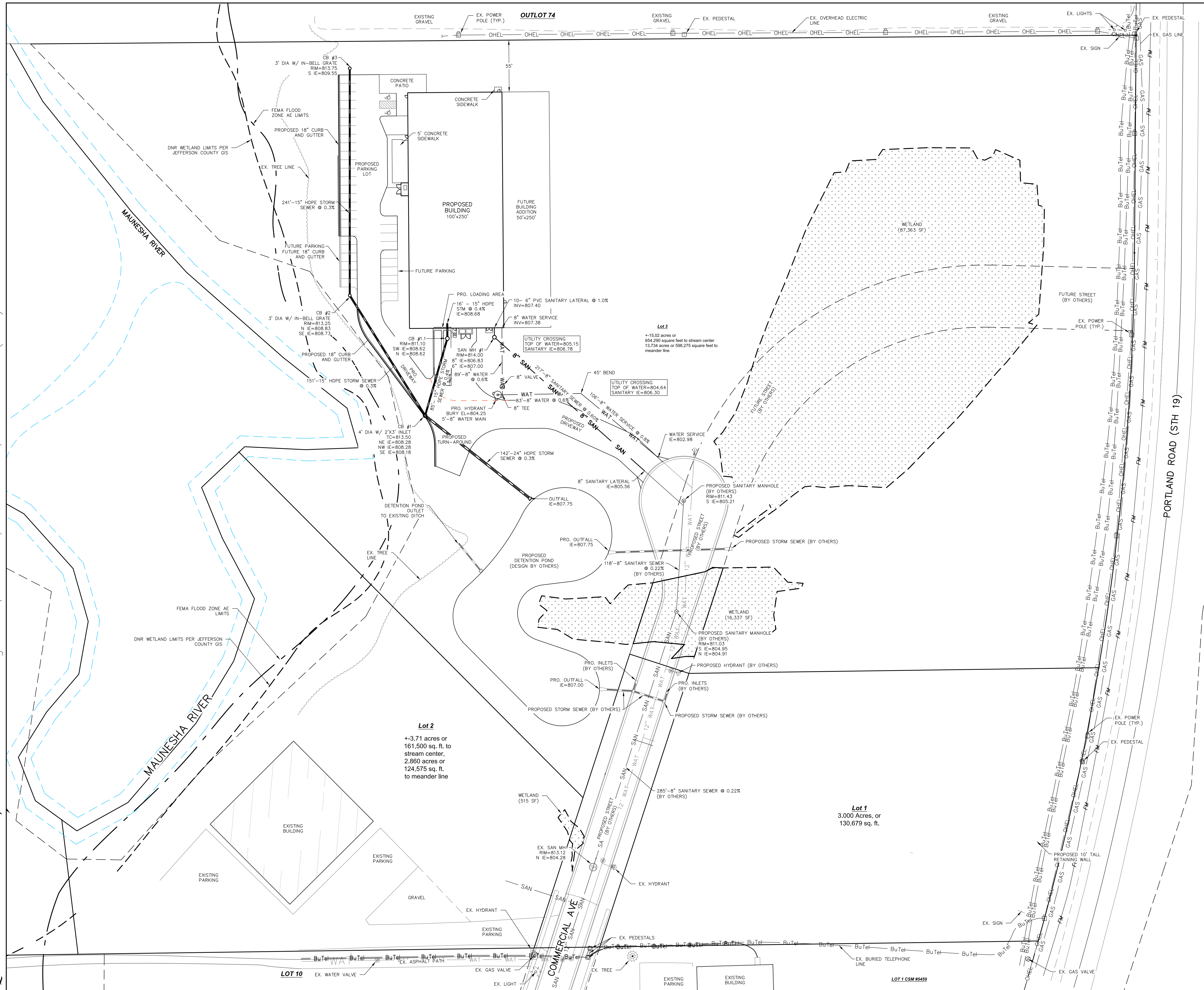


Ab E DISCOVERY, LLC - WATERLOO
 GRADING AND EROSION CONTROL PLAN
 DATED: FEBRUARY 14, 2018

C-102

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 Residential and Commercial Site Design Consultants

1519 E Washington Street, Suite A; West Bend, Wisconsin 53095
 Phone (262) 338-6641; www.quamengineering.com



UTILITY NOTES:

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.

ALL UTILITY CONSTRUCTION SHALL BE DONE IN COMPLIANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.

ALL SANITARY SEWER, STORM SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF WATERLOO AND WISCONSIN DSPS STANDARDS.

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2) OF STATE STATUTES.

THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF ALL EXISTING UTILITIES PRIOR TO BUILDING CONSTRUCTION AND SHALL REPORT DISCREPANCIES PRIOR TO COMMENCING WORK TO THE ENGINEER OR BUILDING CONTRACTOR.

CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OR THE AREAS DISTURBED DURING CONSTRUCTION.

THE CONTRACTOR SHALL CONTACT THE CITY OF WATERLOO PRIOR TO CONNECTING TO THE EXISTING WATER SERVICE FROM COMMERCIAL AVE.

BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL STUB LATERAL TO 3 FEET OUTSIDE BUILDING. SEE INTERIOR PLUMBING PLANS FOR CONTINUATION OF PIPING INTO BUILDING BY BUILDING PLUMBING CONTRACTOR IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION WISCONSIN, LATEST EDITION.

GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION, SIZE AND DEPTH OF NEW SERVICE.

SANITARY SEWER SHALL BE PVC ASTM D-3034, SDR 35 WITH INTEGRAL BELL TYPE ELASTOMERIC JOINTS MEETING THE REQUIREMENTS OF ASTM D-3212.

WATER MAIN SHALL BE COPPER TYPE "K" PRESCRIBED IN ANSI/AWWA C800-89 SECTION A.2 FOR "COPPER WATER TUBING" AND TO ASTM, DESIGNATION B42 AND B88-99, AND CURRENT REVISIONS THEROF UNLESS INDICATED OTHERWISE.

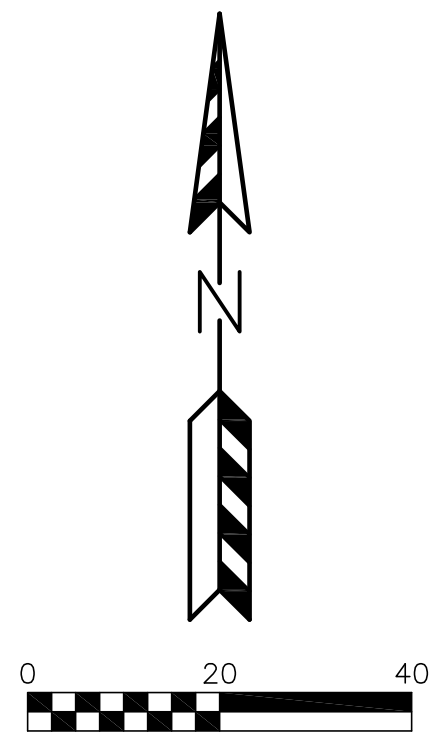
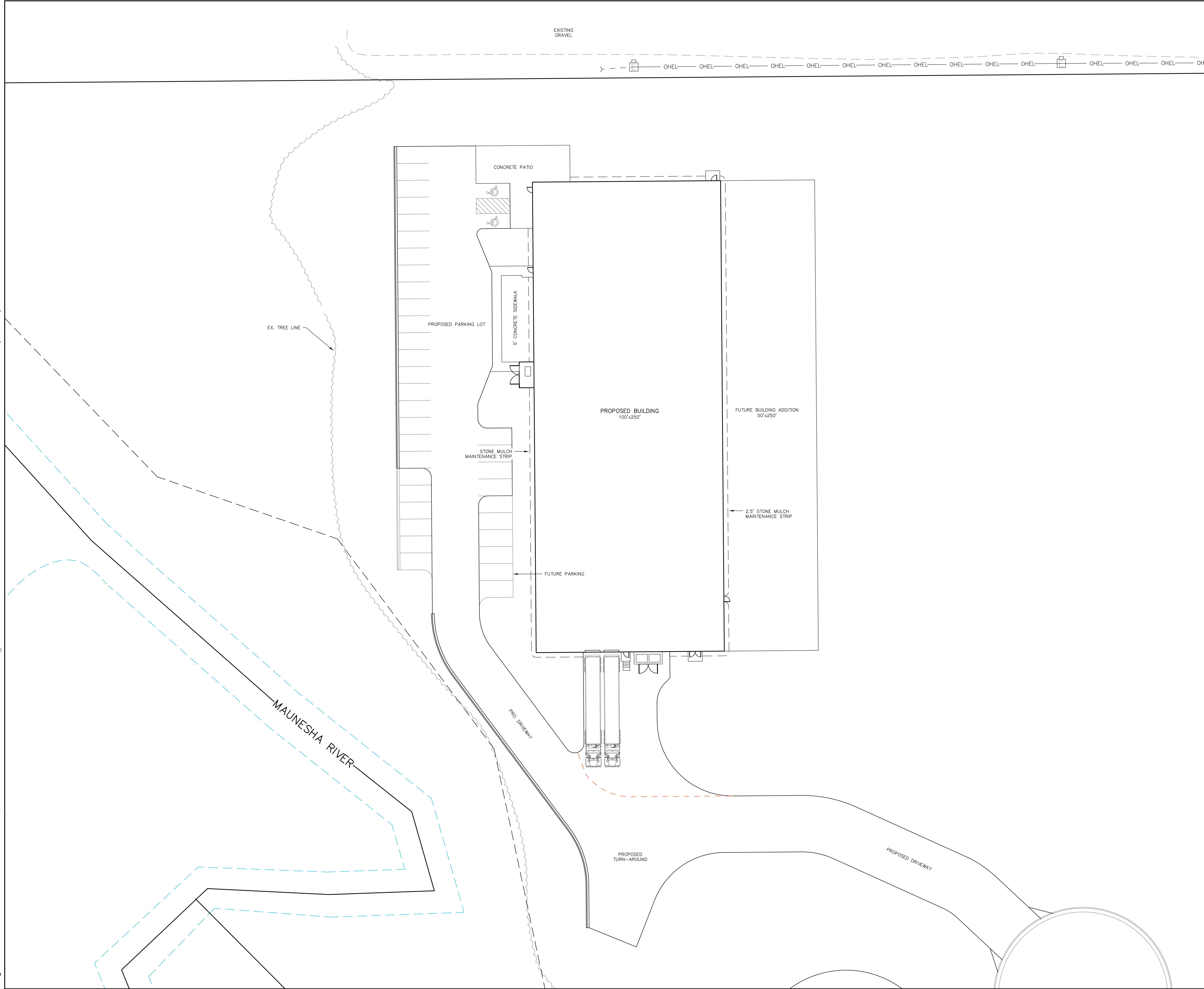
ALL STORM SEWER SHALL BE HDPE SMOOTH WALL INTERIOR CORRUGATED PIPE AS MANUFACTURED BY ADS OR APPROVED EQUAL. PIPE SHALL HAVE WATER TIGHT JOINTS AND SHALL MEET THE REQUIREMENTS OF AASHTO M-294, TYPE S.

Ab E DISCOVERY, LLC - WATERLOO
 UTILITY PLAN
 DATED: FEBRUARY 13, 2018

C-103



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 Phone (262) 338-6641; www.quamengineering.com



- NOTES:
- 1) DESIGNATED LAWN AREAS TO RECEIVE A MINIMUM OF 4" OF TOPSOIL, SEED (MADISON PARKS MIX), STARTER FERTILIZER, AND MULCH (STRAW OR STRAW MAT).
 - 2) DESIGNATED TURF AREAS TO RECEIVE A MINIMUM OF 4" OF TOPSOIL, SEED (SHORT PRAIRIE MIX), STARTER FERTILIZER, AND MULCH (STRAW OR STRAW MAT).
 - 3) TURF AREAS IN DRAINAGE SWALES AND SLOPES GREATER THAN 3:1 SHALL BE MULCHED WITH EROSION CONTROL FABRIC (INSTALLED PER MANUFACTURER'S SPECIFICATIONS).
 - 4) MAINTENANCE STRIP TO BE MULCHED WITH 2" - 2 1/2" WASHED STONE MULCH SPREAD TO A DEPTH OF 3' OVER WEED BARRIER FABRIC.

Ab E DISCOVERY, LLC - WATERLOO
 LANDSCAPING PLAN
 DATED: FEBRUARY 14, 2018

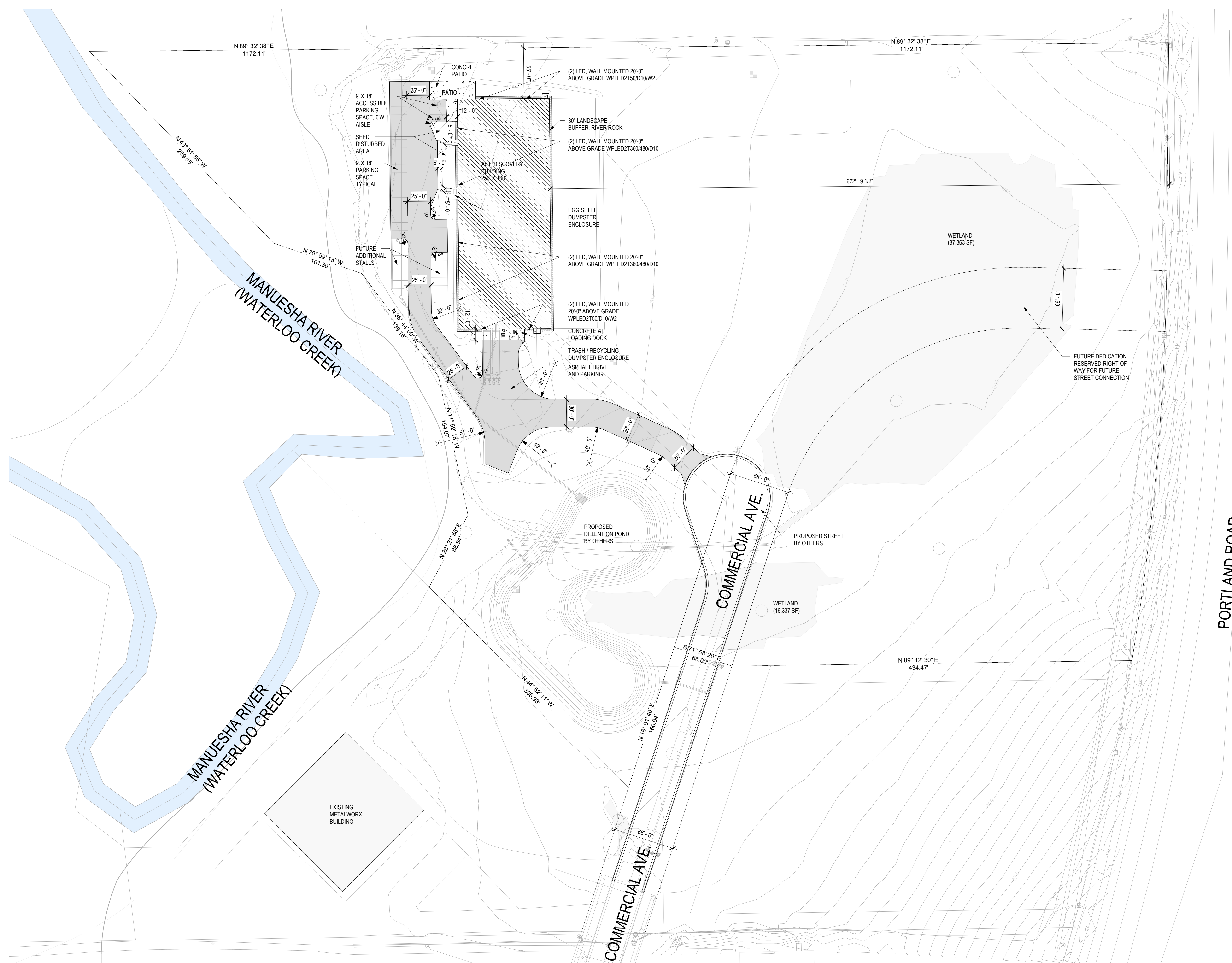
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**AB E DISCOVERY -
NEW HIEP FACILITY**

COMMERCIAL AVE.
WATERLOO, WI



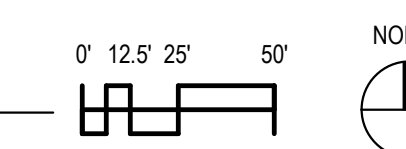
SITE INFORMATION	
LOT SQUARE FOOTAGE:	654,280 SF TO STREAM CENTER (SEE SURVEY V-101 FOR MORE INFO)
EXISTING IMPERVIOUS SURFACE:	N/A
PARKING AND PAVEMENT:	N/A
BUILDING:	N/A
PROPOSED IMPERVIOUS SURFACE:	66,104 SF (TOTAL)
PARKING LOT / DRIVEWAY:	26,831 SF
PAVEMENT:	1,981 SF
BUILDING:	25,000 SF
ROAD / CULDESAC (TO PU):	12,392 SF
PARKING:	
REQUIREMENT:	1 STALL PER 5 EMPLOYEES (PER ZONING ORD 385-23 B.6)
	20 EMPLOYEES = 4 REQUIRED
TOTAL PARKING:	25 STALLS
ACCESSIBLE STALLS:	2 ADA STALLS

DATE OF ISSUE: 02/13/18

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PROJECT # 17112

1 ARCHITECTURAL SITE PLAN
1" = 50'-0"

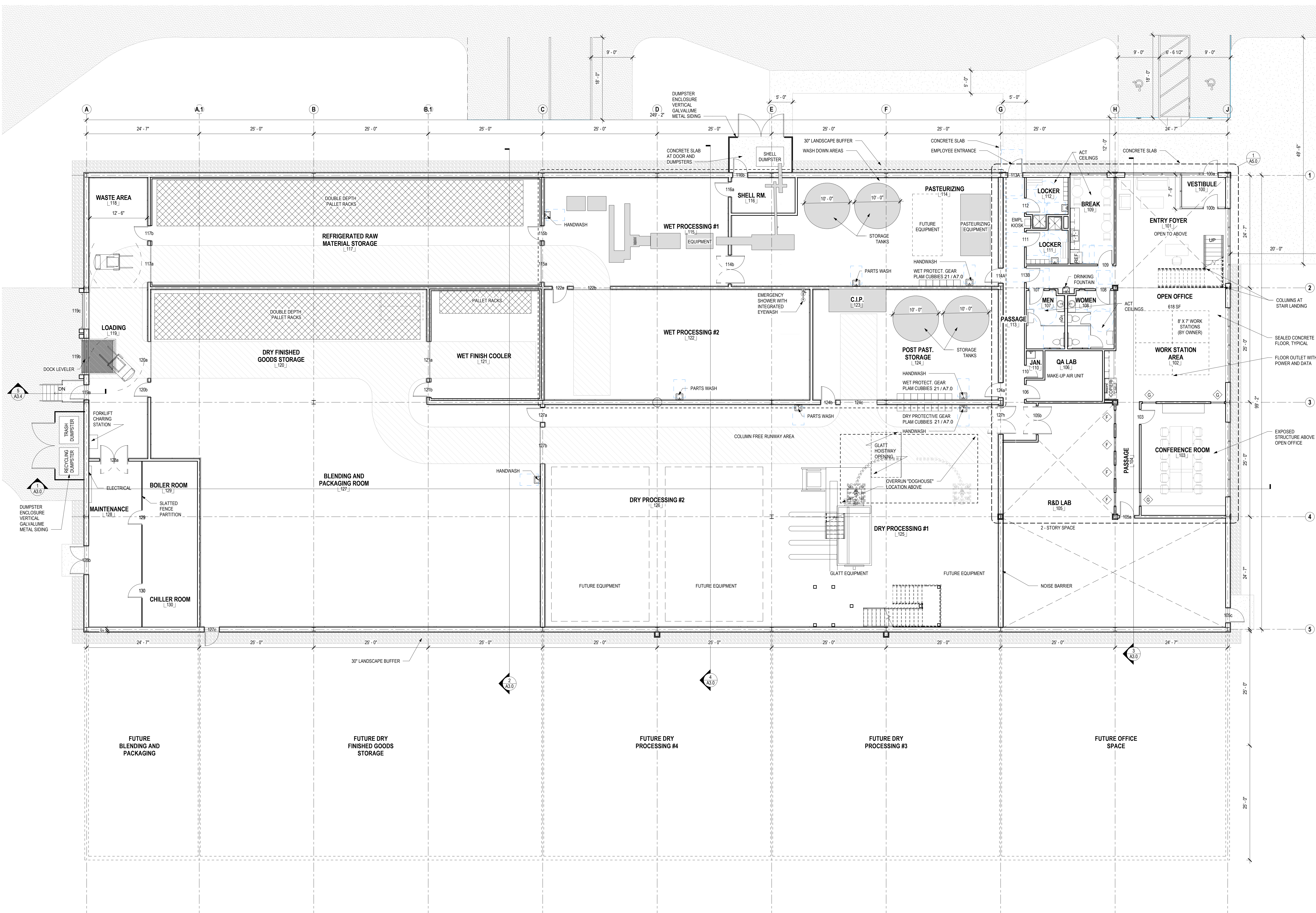


**ARCHITECTURAL
SITE PLAN**

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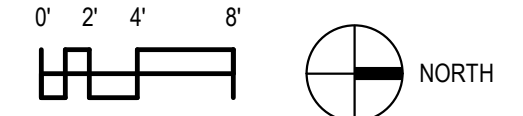
**AB E DISCOVERY -
NEW HIEP FACILITY**

COMMERCIAL AVE.
WATERLOO, WI



1
2
3
4
5

1 FIRST FLOOR PLAN
1/8" = 1'-0"



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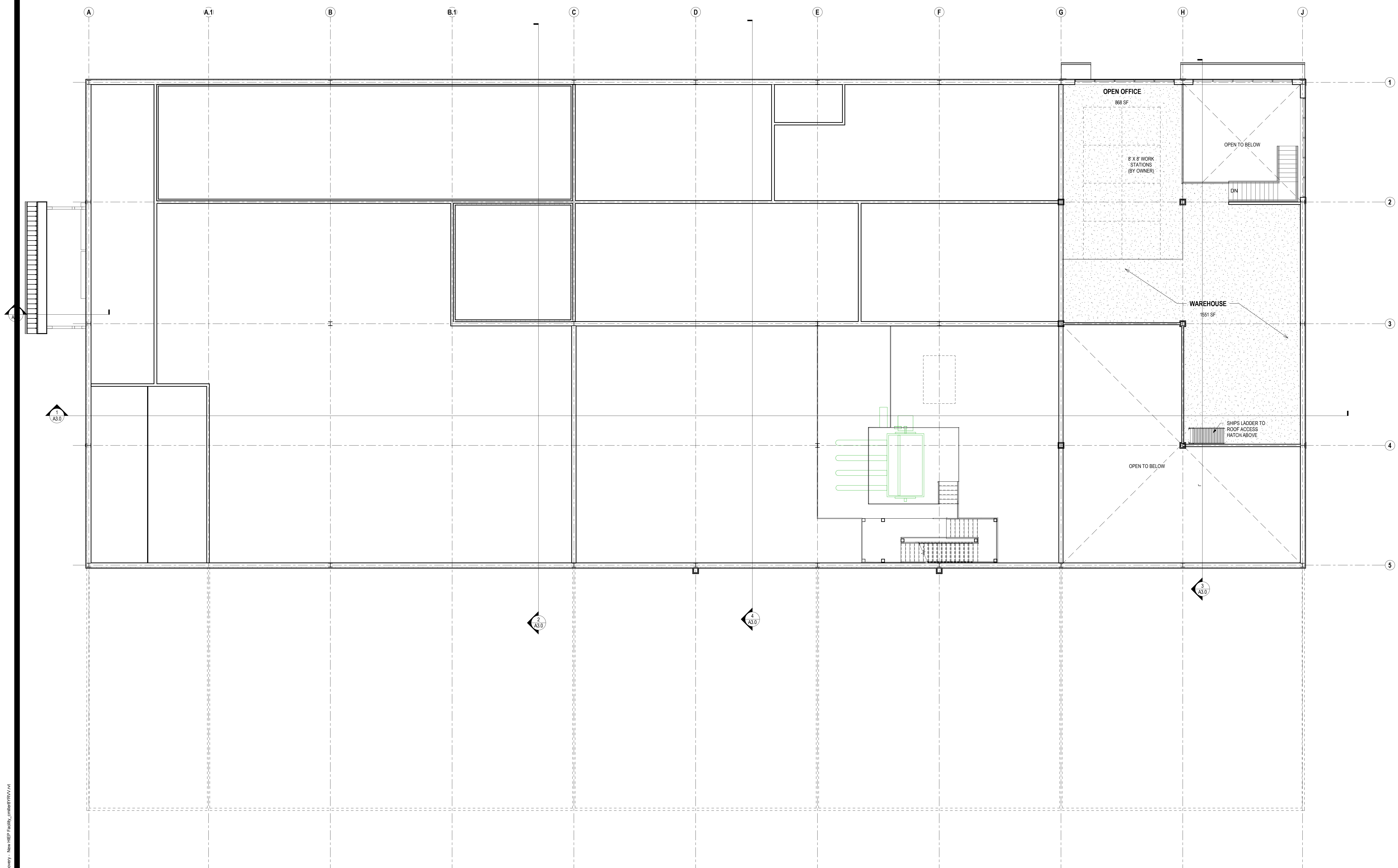
PROJECT # 17112

FIRST FLOOR PLAN

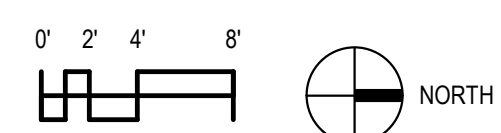
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**AB E DISCOVERY -
NEW HIEP FACILITY**

COMMERCIAL AVE.
WATERLOO, WI



1 MEZZANINE FLOOR PLAN
1/8" = 1'-0"



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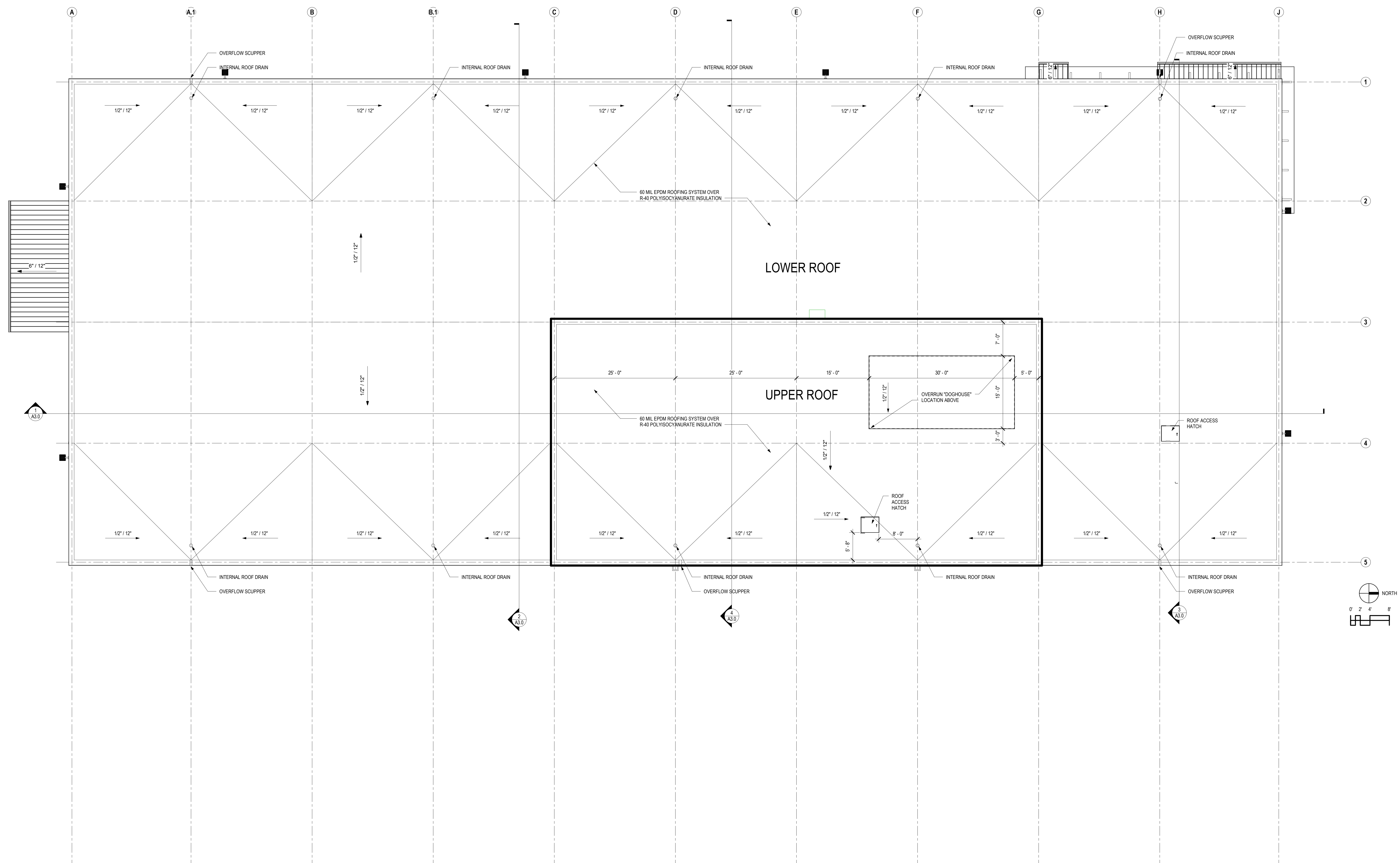
PROJECT # 17112

**MEZZANINE FLOOR
PLAN**

A1.2

**AB E DISCOVERY -
NEW HIEP FACILITY**

COMMERCIAL AVE.
WATERLOO, WI



1 ROOF PLAN
1/8" = 1'-0"

DATE OF ISSUE: 02/13/18

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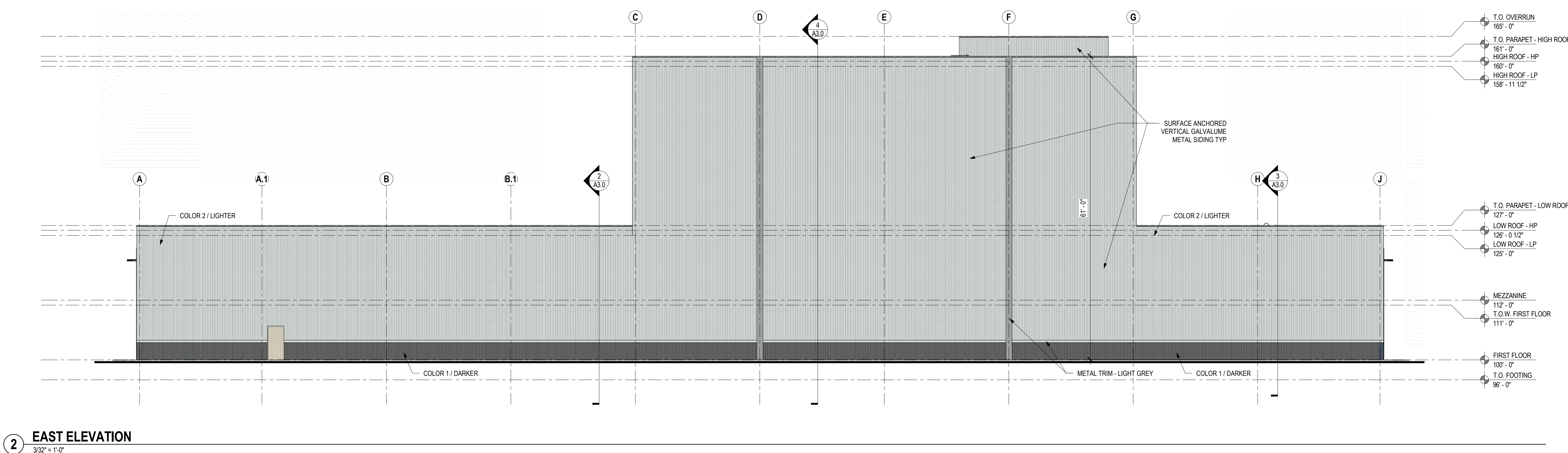
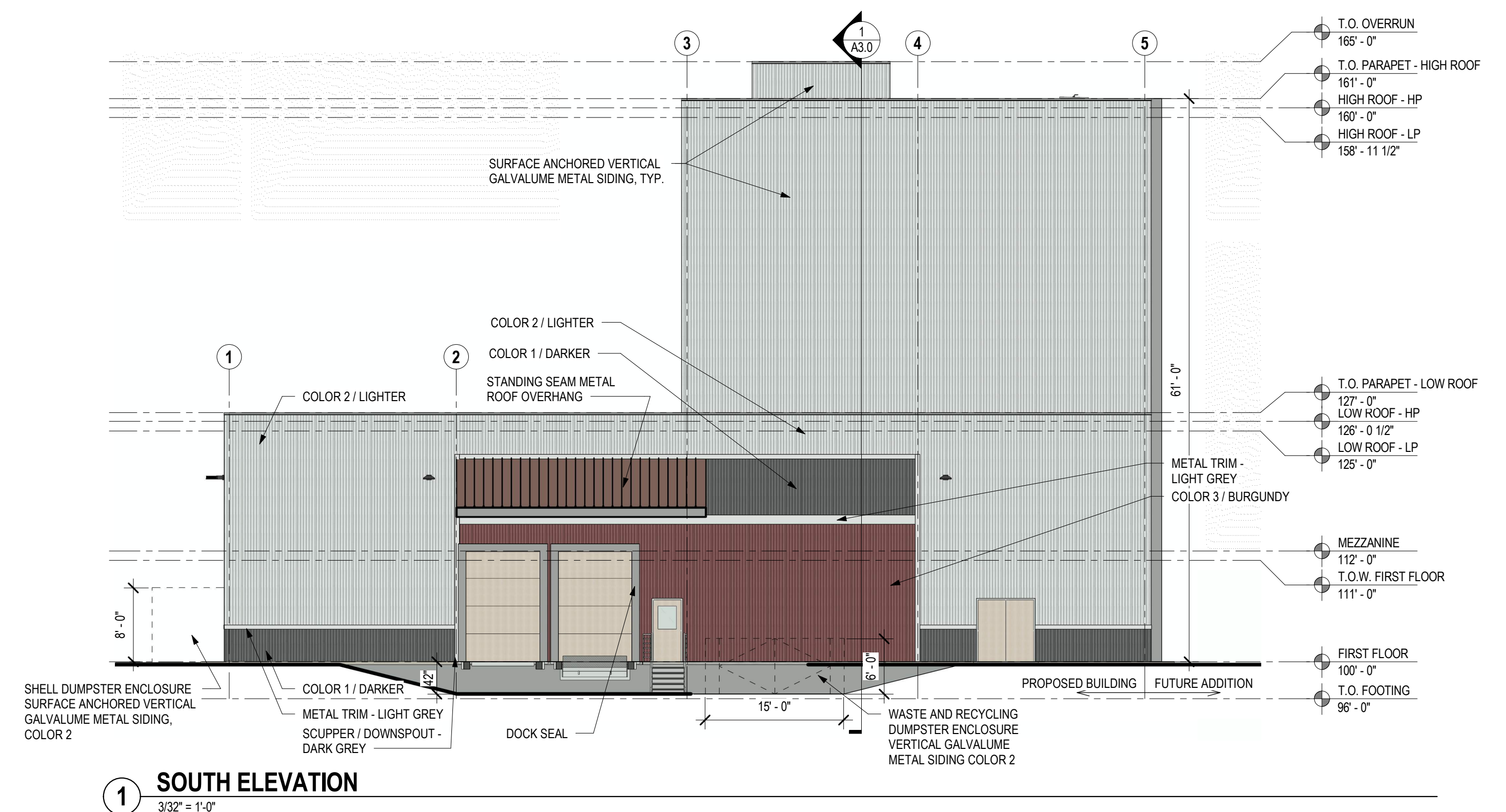
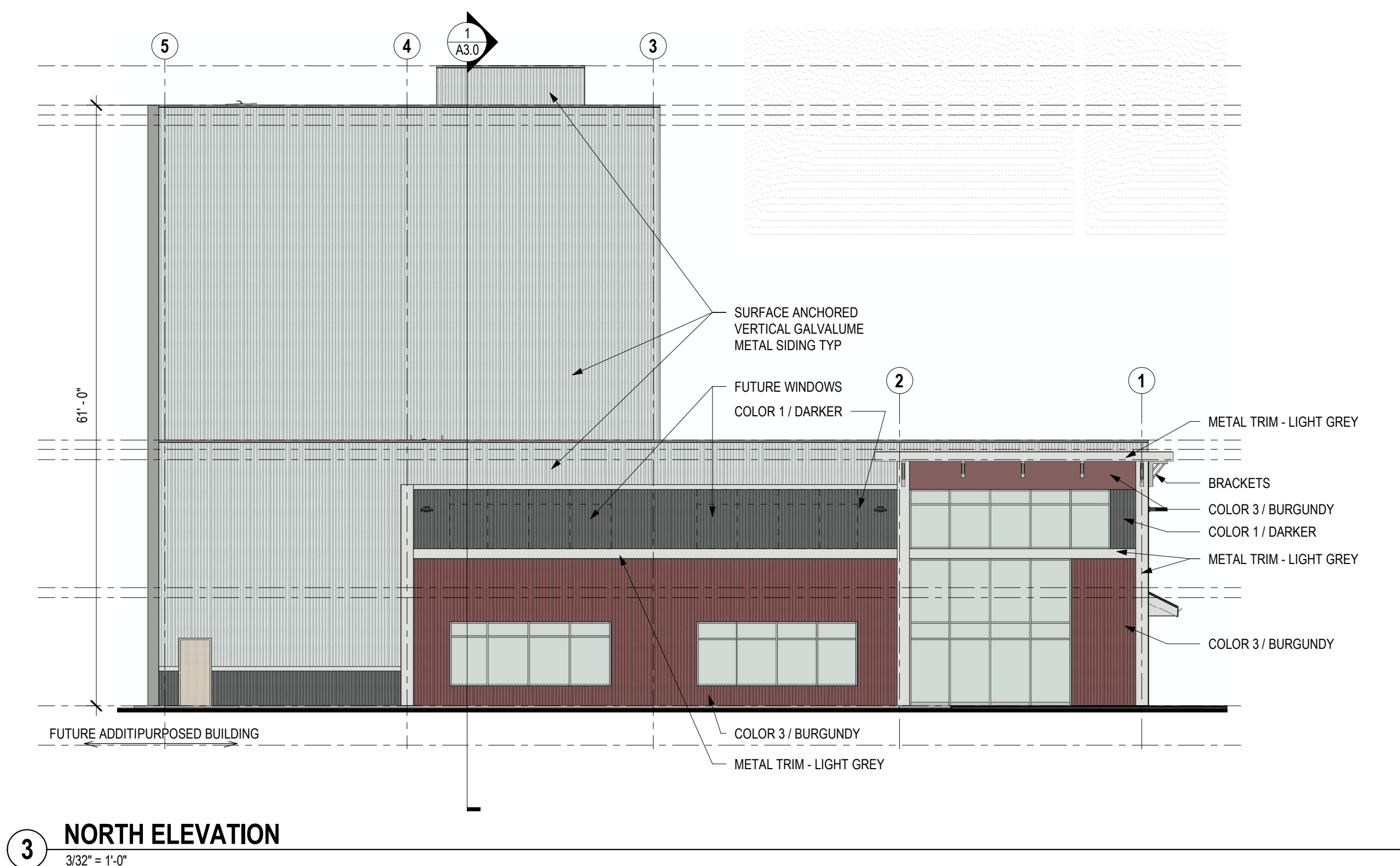
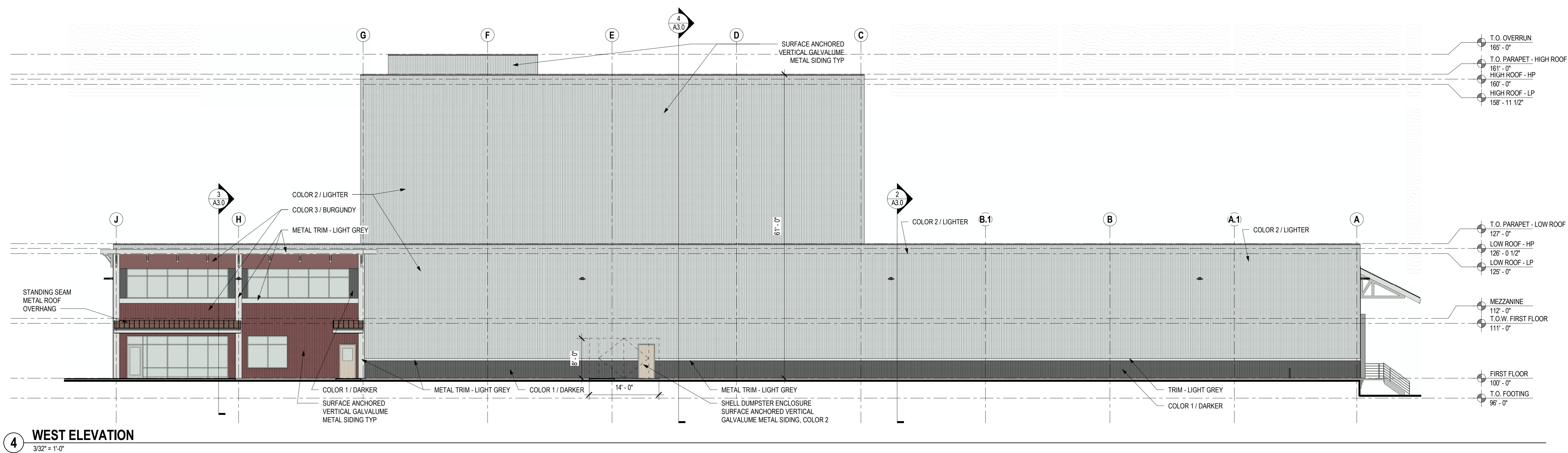
PROJECT # 17112

ROOF PLAN

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**AB E DISCOVERY -
NEW HIEP FACILITY**

COMMERCIAL AVE.
WATERLOO, WI



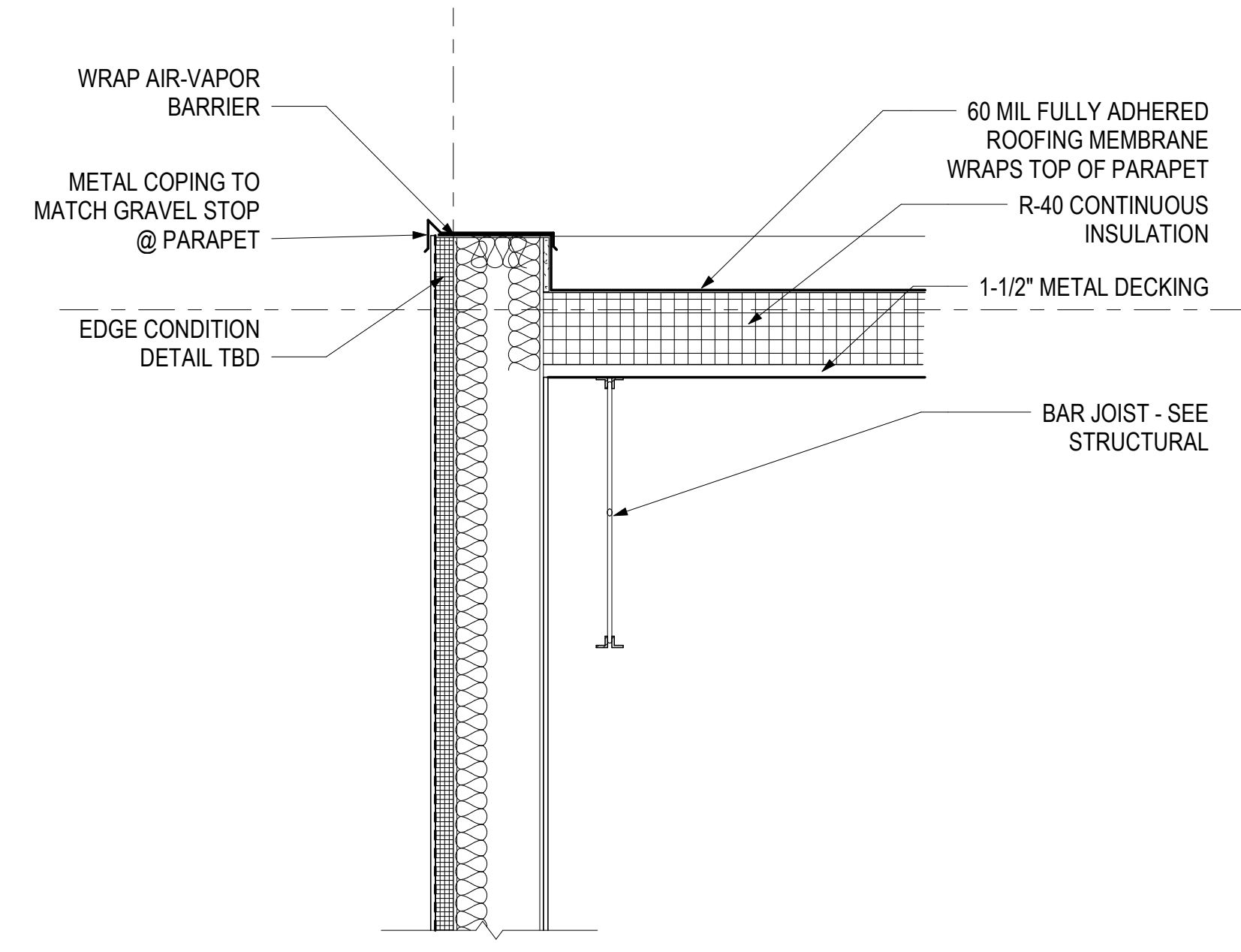
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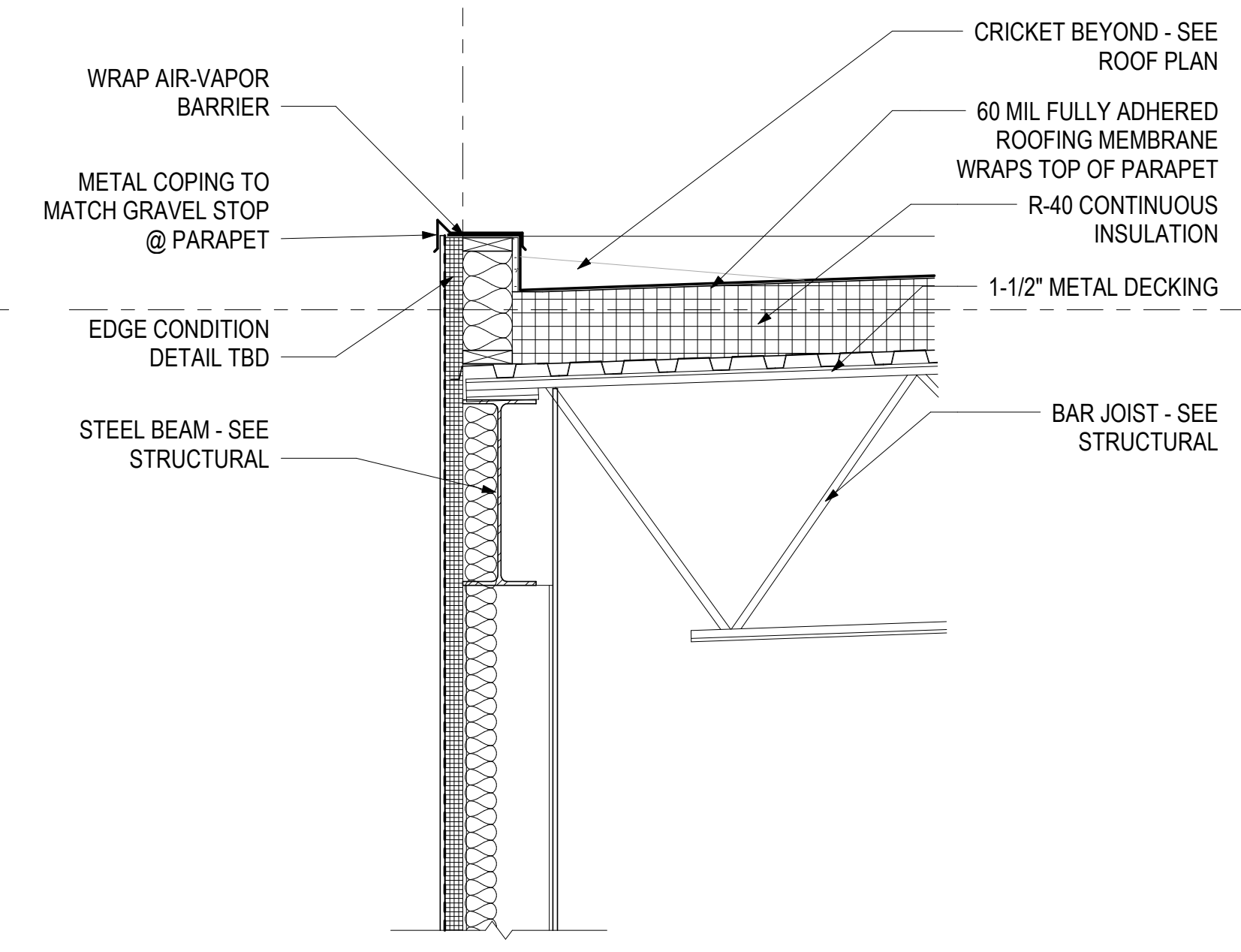
PROJECT # 17112

**EXTERIOR
ELEVATIONS**

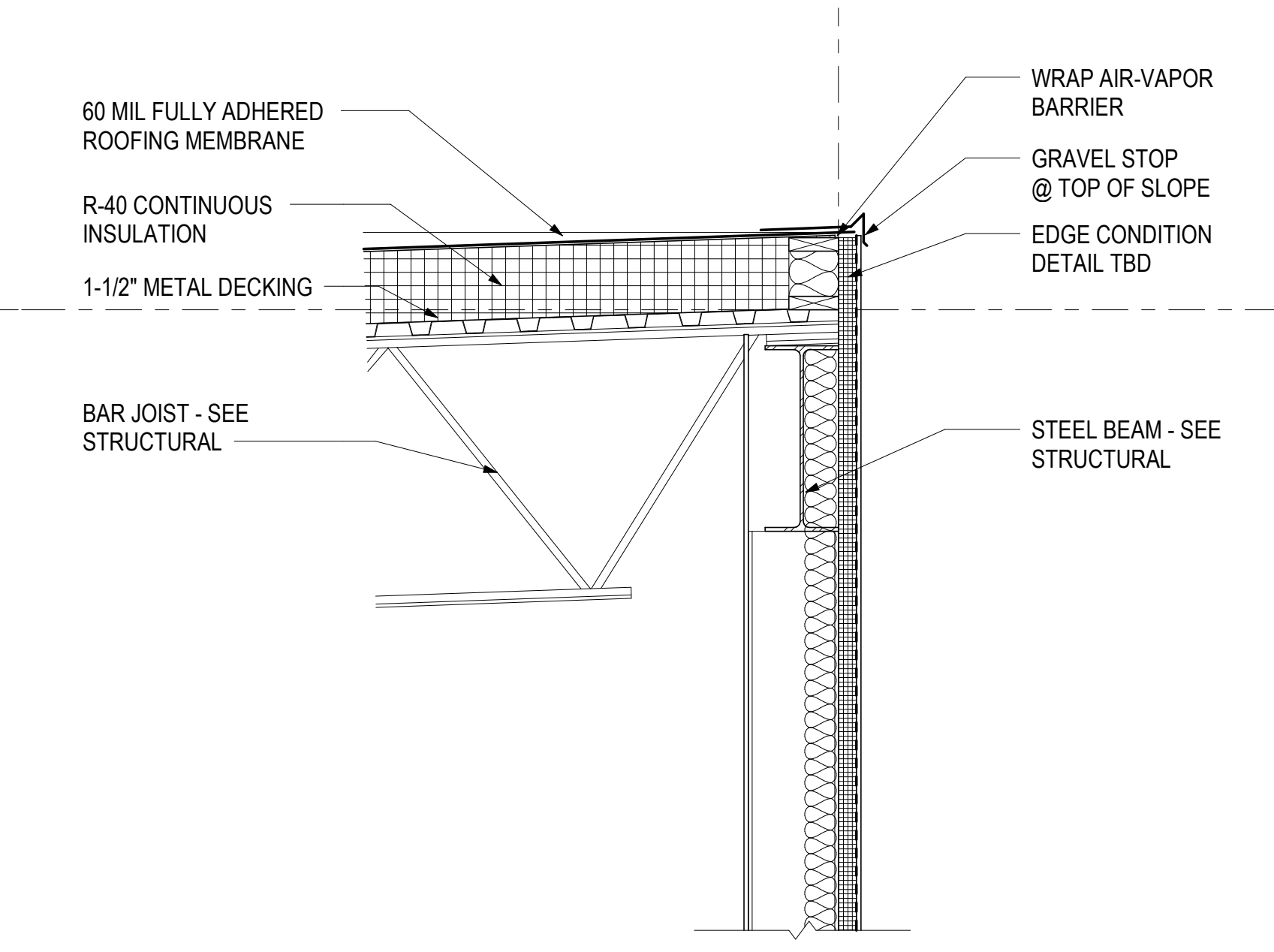
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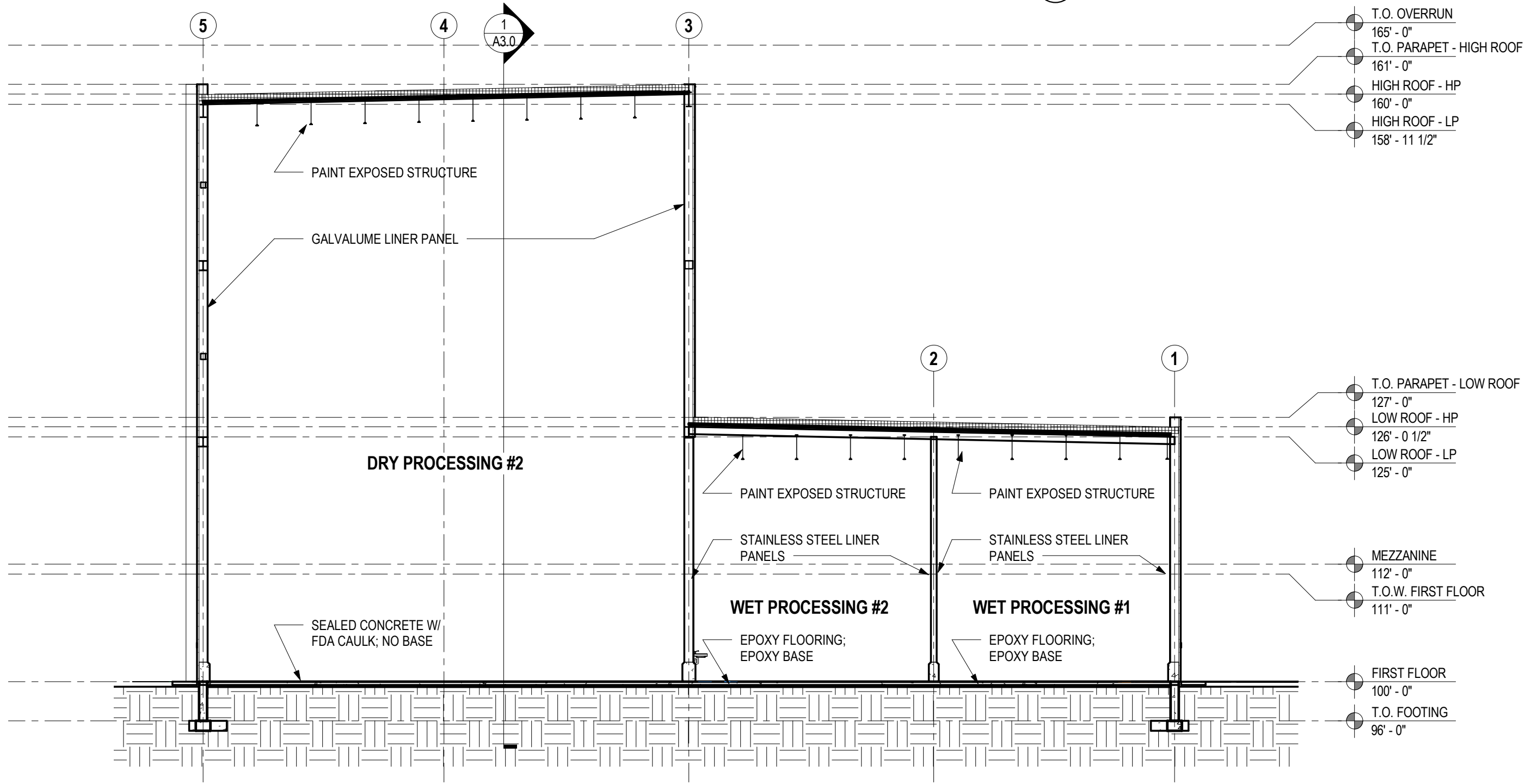
7 TYPICAL WALL - PARAPET AT UNBRACED STRUCTURE
3/4" = 1'-0"



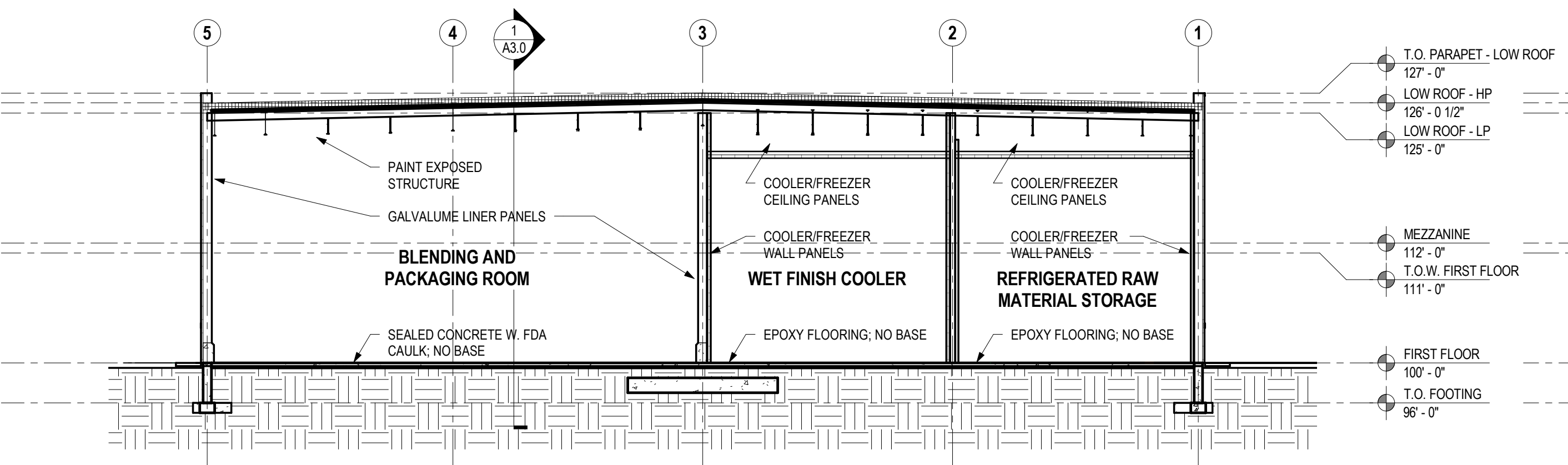
6 TYPICAL WALL - PARAPET AT BOTTOM OF SLOPE
3/4" = 1'-0"



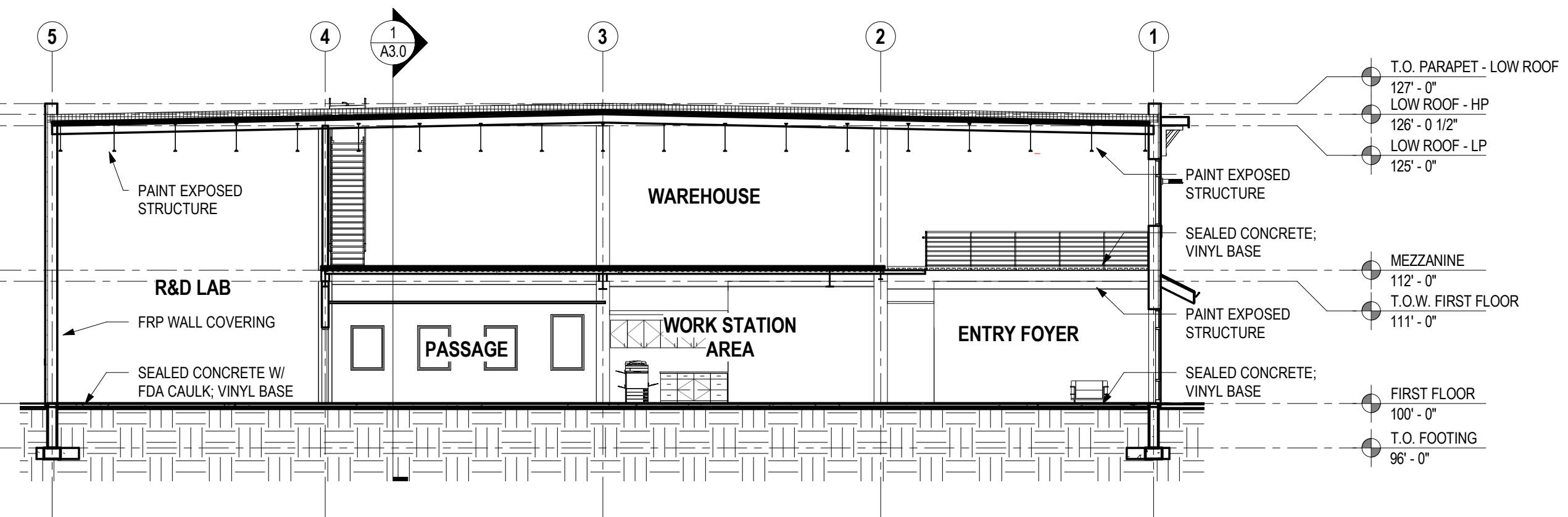
5 TYPICAL WALL SECTION
3/4" = 1'-0"



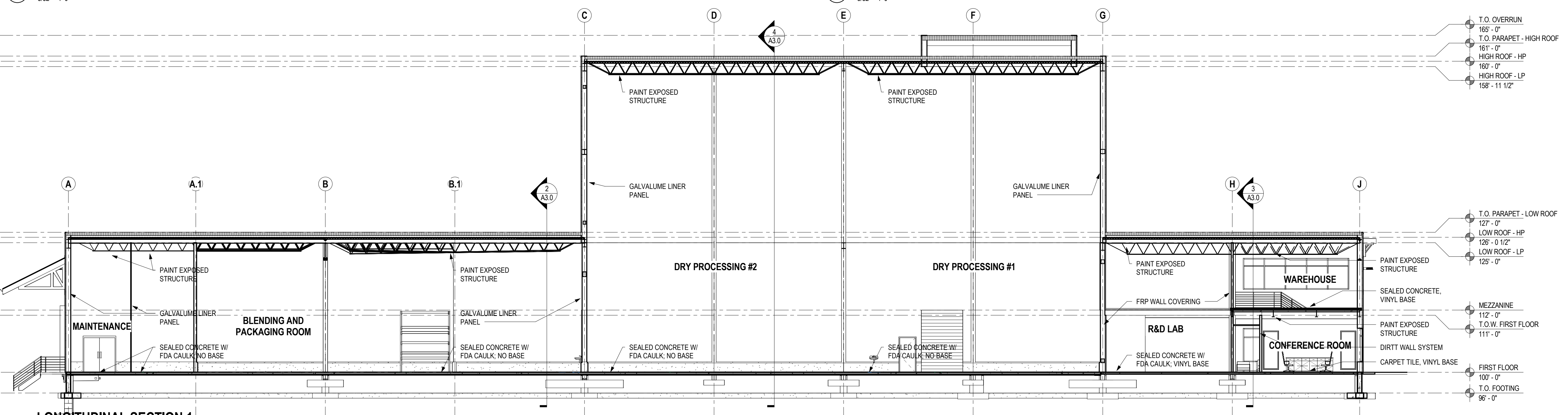
4 TRANSVERSE SECTION 4
3/32" = 1'-0"



2 TRANSVERSE SECTION 2
3/32" = 1'-0"



3 TRANSVERSE SECTION 3
3/32" = 1'-0"



1 LONGITUDINAL SECTION 1
3/32" = 1'-0"

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