

SELECT PAGES SUBMITTED IN 2015  
FOR 4/24/2018 PLAN COMMISSION  
DESIGN REVIEW

333 WEST MADISON STREET  
WATERLOO, WISCONSIN

DATE: OCTOBER 10, 2014

JULY 20, 2015 - REVISED PRELIM. REVIEW SET  
SEPT 24, 2015 - REVISED PRELIM. REVIEW SET

RIVER WALK ASSISTED LIVING

PROJECT No: 14-003

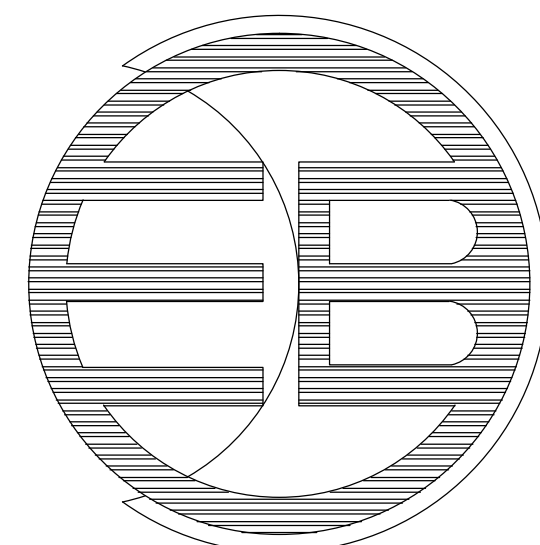
ARCHITECT

OWNER

CONTRACTOR

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<b>CIVIL</b>	<b>PLUMBING</b>
<b>ARCHITECTURAL</b>	<b>MECHANICAL</b>
<b>STRUCTURAL</b>	<b>ELECTRICAL</b>

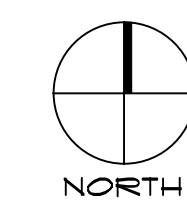
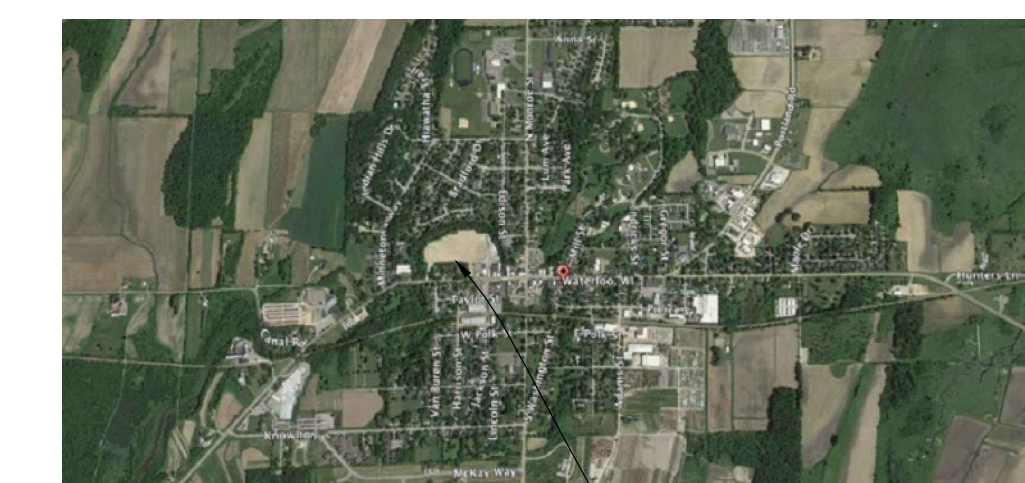
ABBREVIATIONS

@	At	N/C	Nurse Call
A.F.F.	Above Finished Floor	O.C.	On Center
A.M.S.L.	Above Means Sea Level	OPP.	Opposite
BD.	Board	PERP.	Perpendicular
BLDG.	Building	PLYWD.	Plywood
CLR.	Clear	PLUMB.	Plumbing
C.J.	Control Joint	PR.	Pair
C.M.U.	Concrete Masonry Unit	P.S.I.	Pounds Per Square Inch
COMP.	Composite	P.T.	Preservative Treated
CONC.	Concrete	R & S	Rod and Shelf
CONT.	Continuous	RAD.	Radius
D.	Depth	REINF.	Reinforcing
DIA.	Diameter	REQ.	Required
DN.	Down	S.H.G.C.	Solar Heat Gain Coefficient
D.P.A.	Design Pressure (Rating)	SIM.	Similar
ELEC.	Electric or Electrical	SL.	Slope
ELEV.	Elevation	SPEC.	Specifications
E.I.F.S.	Exterior Insulated Finished System	SQ.	Square
E.J.	Expansion Joint	STR.	Structure
EQ.	Equal	STRL.	Structural
EXT.	Exterior	T.	Tempered Glass
F.F.E.	Finished Floor Elevation	T & G	Tongue and Groove
F.O.W.	Face of Wall	T.B.D.	To Be Determined
FTG.	Footing	T.G.E.P.	To the Greatest Extent Possible
GALV.	Galvanized	THICK.	Thickness
GYP.	Gypsum	T.O.C.	Top of Concrete
H.	High	T.O.P.	Top of Plate
H.C.	Hollow Core	T.O.S.	Top of Slab
HORZ.	Horizontal	T.O.W.	Top of Wall
H.R.A.	Hour Rating	TRTD.	Treated
HT.	Height	TYP.	Typical
INT.	Interior	U.N.O.	Unless Noted Otherwise
MAX.	Maximum	U-V	U-Value
MECH.	Mechanical	VERT.	Vertical
MIN.	Minimum	W.	Width
MTL.	Metal	WD.	Wood

BUILDING INFORMATION

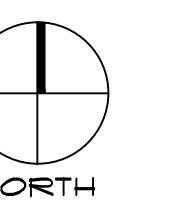
CLASS OF CONSTRUCTION	5A	SITE DATA:
OCCUPANCY:	C.B.R.F. INSTITUTIONAL 2	SITE SIZE:
SPRINKLER SYSTEM	COMPLETE - NFPA 13	GREEN SPACE AREA:
BUILDING AREAS		HARD SURFACE AREA:
FIRST FLOOR	23,451 S.F.	(INCLUDING BUILDINGS):
		CODE INFORMATION:
		IBC 2003, DHS CHAPTERS 83, NFPA 101 2000, ANSI 2003

VICINITY MAP



NORTH

LOCATION MAP




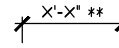
NORTH

PROJECT LOCATION  
333 W. MADISON ST.  
WATERLOO, WI 53686



**NOTES ON FLOOR PLAN DIMENSIONS:**

1. EXTERIOR DIMENSIONS ARE FROM FACE OF FOUNDATION WALL TO FACE OF FOUNDATION WALL (EXCEPT IF NOTED OTHERWISE).
2. ALL INTERIOR DIMENSIONS ARE FROM FACE OF FOUNDATION TO STUD FACE AND STUD FACE TO STUD FACE (EXCEPT IF NOTED OTHERWISE). RESIDENT UNIT SHARED WALLS/PARTY WALLS ARE DIMENSIONED TO CENTERLINE OF THE WALL, WHERE INDICATED.
3. ALL WINDOW LOCATIONS ARE DIMENSIONED TO CENTER OF WINDOW UNIT IN WOOD FRAMED WALLS (UNLESS NOTED OTHERWISE).

 CENTERLINE  
 PLUS OR MINUS - FOR REFERENCE ONLY

**GENERAL NOTES:**

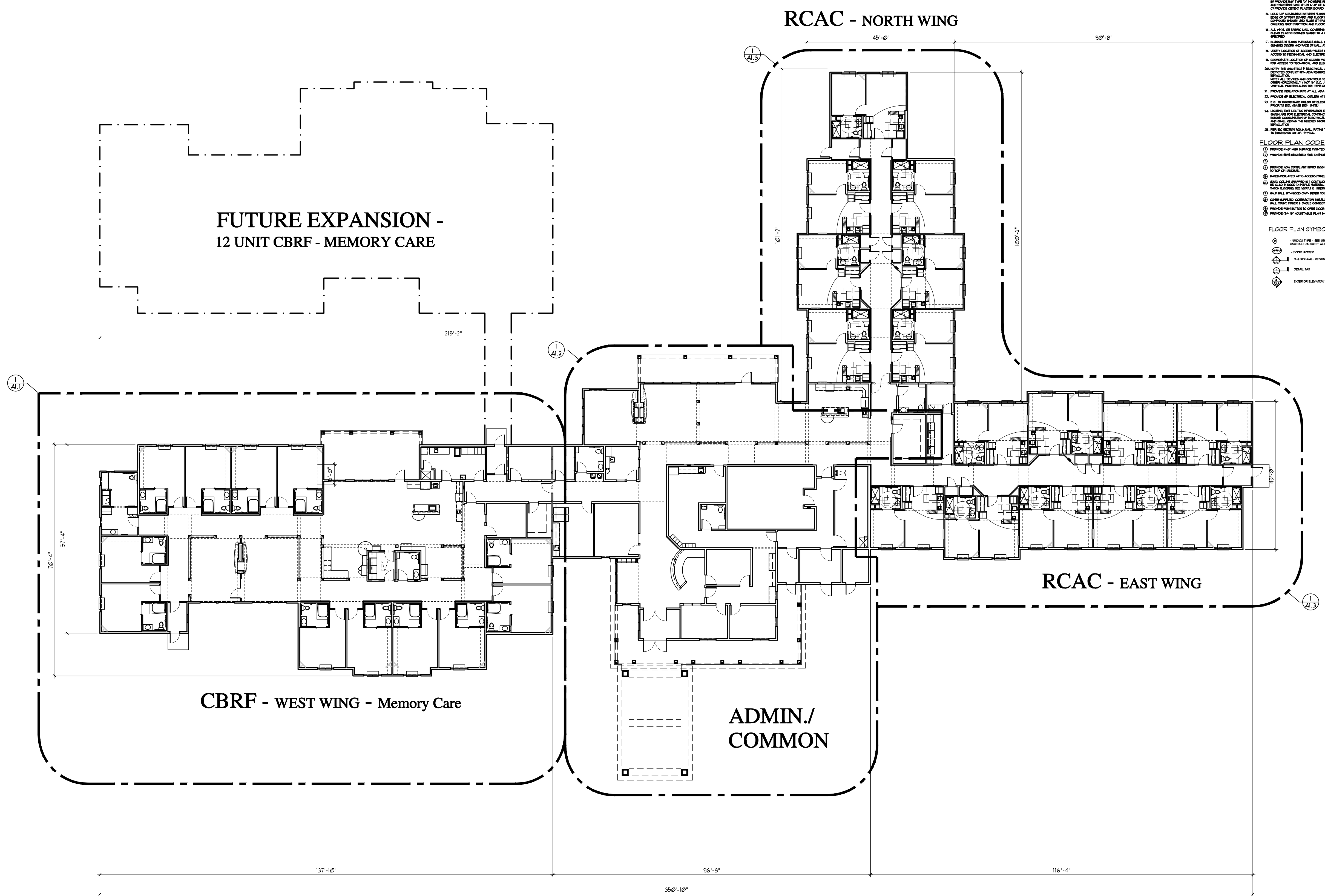
1. VERIFY ALL DIMENSIONS, CONDITIONS, AND ALIGNMENT OF WALLS, WINDOWS, AND DOORS TO THE ARCHITECT'S INTENTION FROM TO PLAN OF FOUNDATION / CONSTRUCTION.
2. ALL WALLS SHALL BE TYPE A MASONRY UNLESS NOTED OTHERWISE. ALL WALLS SHALL BE 8" OR 12" THICK UNLESS NOTED OTHERWISE.
3. CONCRETE SHALL BE ACCORDING TO THE ARCHITECT'S INTENTION FROM TO PLAN OF FOUNDATION / CONSTRUCTION.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF ALL EXISTING WALLS, WINDOWS, AND DOORS TO THE ARCHITECT'S INTENTION FROM TO PLAN OF FOUNDATION / CONSTRUCTION.
5. PROVIDE AND INSTALL ALL REQUIRED ACCESSIBLE DOORS AND WINDOWS TO THE ARCHITECT'S INTENTION FROM TO PLAN OF FOUNDATION / CONSTRUCTION.
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**FLOOR PLAN CODED NOTES:**

1. PROVIDE #4 REINFORCING BARS FOR CONCRETE.
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50. PROVIDE #4 REINFORCING BARS FOR CONCRETE.

**FLOOR PLAN SYMBOLS:**

- Window Type, See Schedule on Sheet A1.1
- Door Number
- Detail Tag
- Exterior Elevation Tag



PRELIMINARY - NOT FOR CONSTRUCTION

**WATERLOO RIVER WALK ASSISTED LIVING**  
333 W. MADISON ST., WATERLOO, WI

REVISION:

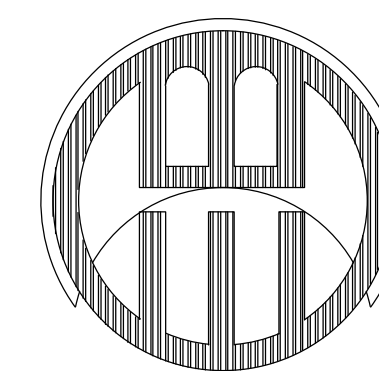

PROJECT NO. 14-003

DATE: 9.24.2015

SHEET NAME: OVERALL FLOOR PLAN LEGEND & NOTES

SHEET NO:

**A1.0**  
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**NOTES ON FLOOR PLAN DIMENSIONS:**

1. EXTERIOR DIMENSIONS ARE FROM FACE OF FOUNDATION WALL TO FACE OF FOUNDATION WALL (EXCEPT IF NOTED OTHERWISE).
2. ALL INTERIOR DIMENSIONS ARE FROM FACE OF FOUNDATION TO STUD FACE AND STUD FACE-TO-STUD FACE (EXCEPT IF NOTED OTHERWISE). RESIDENT UNIT SHARED WALLS/PARTY WALLS ARE DIMENSIONED TO CENTERLINE OF THE WALL, WHERE INDICATED.
3. ALL WINDOW LOCATIONS ARE DIMENSIONED TO CENTER OF WINDOW UNIT IN WOOD FRAMED WALLS (UNLESS NOTED OTHERWISE).

⊕ = CENTERLINE  
+/- FOR REFERENCE ONLY

**GENERAL NOTES**

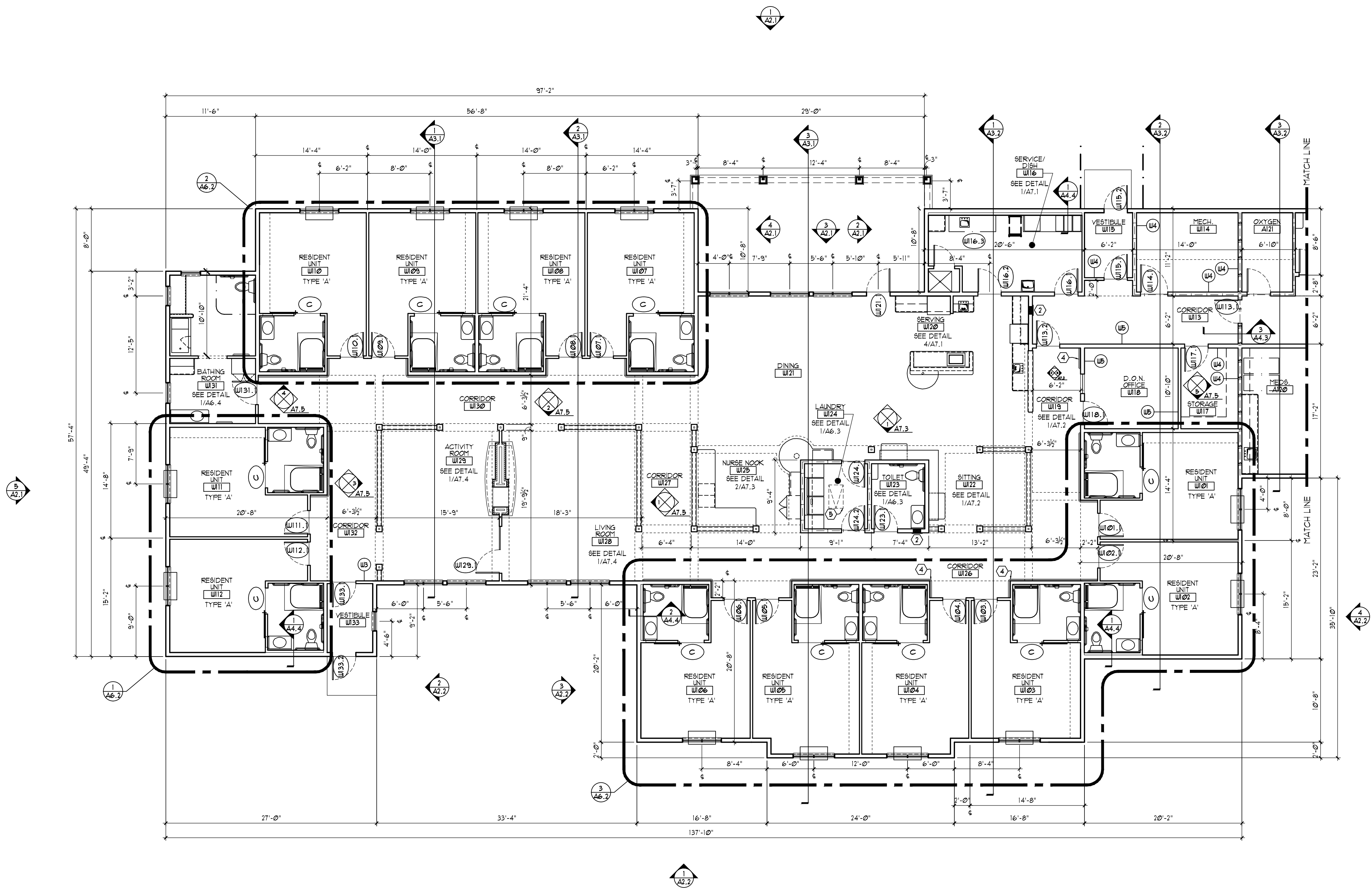
1. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION PRIOR TO START OF FABRICATION / CONSTRUCTION.
2. ALL WALLS TO BE TYPE A UNLESS NOTED OTHERWISE (SEE SHEET A1.1, A1.2 OR A1.3 FOR WALL TYPES).
3. DURING CONSTRUCTION, AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS.
4. CONTRACTOR TO INSTALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS.
5. CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES.
6. PROVIDE WOOD BLOCKING AS REQUIRED TO SUPPORT ALL CABINETS, SHELVES, BUILT-INS, EQUIPMENT OR ACCESSORIES. COORDINATE WITH VENDOR DOCUMENTS WHERE SUCH CONDITIONS APPLY.
7. STUD FRAMING EXTENDED TO STRUCTURE ABOVE.
8. SEAL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE BARRIERS TO MEET REQUIRED RATINGS. UTILIZE ALL APPROVED METHODS.
9. PROVIDE CONTINUOUS VAPOR BARRIER (ON WARM SIDE OF WALL) ALONG ENTIRE PERIMETER OF EXTERIOR WALL FROM FLOOR TO ROOF DECK. ALL PENETRATIONS TO BE SEALED.
10. ALL PENETRATIONS OF EXTERIOR WALL ARE TO BE MADE AIR TIGHT.
11. G.C. TO COORDINATE ALL REQUIRED UNDERCUT DOORS WITH MECHANICAL CONTRACTOR.
12. ALL DOOR HARDWARE TO BE ADA ACCESSIBILITY CODE-APPROVED LEVER SETS (EXCEPT AS OTHERWISE NOTED).
13. ALL PUBLIC COMMON INTERIOR DOORS TO BE MAPLE CLAD WOOD, 1 3/4" SOLID CORE WOOD WITH FLAIN SLICED VENEER, BOTH SIDES.
14. A) PROVIDE 5/8" TYPE 'X' GYPSUM BOARD AT ALL UNIONS UNLESS OTHERWISE NOTED.  
B) PROVIDE 5/8" TYPE 'X' MOISTURE RESISTANT GYPSUM BOARD AT PLUMBING PARTITIONS AND PARTITION FACE WITHIN 6'-0" OF ALL PLUMBING FIXTURES.  
C) PROVIDE CEMENT PLASTER BOARD AS BACK-UP AT ALL CERAMIC WALL TILE LOCATIONS.
15. HOLD 1/2" CLEARANCE BETWEEN FLOOR AND GYPSUM BOARD. FILL GAP BETWEEN BOTTOM EDGE OF GYPSUM BOARD AND FLOOR WITH MOISTURE RESISTANT MASTIC CAULKING. STRIKE COMPOUND SMOOTH AND FLUSH WITH FACE OF PARTITION. REMOVE EXCESS MASTIC CAULKING FROM PARTITION AND FLOOR.
16. ALL VENTILATION OR FABRIC WALL COVERING AT CORRIDOR CORNER LOCATIONS TO RECEIVE A CLEAR PLASTIC CORNER GUARD TO A HEIGHT OF 4'-0" A.F.F. UNLESS OTHER PROTECTION IS SPECIFIED.
17. CHANGES IN FLOOR MATERIALS SHALL BE LOCATED AT THE CENTERLINE OF DOORS AT SLIDING DOORS AND FACE OF WALL AT SLIDING DOORS, UNLESS NOTED OTHERWISE.
18. VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ACCESS TO MECHANICAL AND ELECTRICAL ITEMS.
19. COORDINATE LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ACCESS TO MECHANICAL AND ELECTRICAL ITEMS.
20. NOTIFY THE ARCHITECT IF ELECTRICAL / COMMUNICATION / HVAC / PLUMBING / IF ITEMS DEPICTED CONFLICT WITH ADA REQUIREMENTS OR INDUSTRY STANDARDS PRIOR TO INSTALLATION.  
NOTE: ALL DEVICES AND CONTROLS TO BE INSTALLED WITHIN A MAXIMUM OF 4" OF EACH OTHER HORIZONTALLY (NOT 16" O.C.) AND ALIGN THE BOTTOMS OF EACH ITEM IN THE VERTICAL POSITION ALIGN THE ITEMS ON CENTERLINES.
21. PROVIDE INSULATION KITS AT ALL ADA ACCESSIBLE LAVATORIES.
22. PROVIDE GFI ELECTRICAL OUTLETS AT LOCATIONS REFERRED BY CODE.
23. E.C. TO COORDINATE COLOR OF ELECTRICAL DEVICES WITH ARCHITECT/INTERIOR DESIGNER PRIOR TO BID. (BASE BID: WHITE)
24. LIGHTING, EXIT LIGHTING INFORMATION, ELECTRICAL DATA AND TELEPHONE INFORMATION SHOWN ARE FOR ELECTRICAL CONTRACTORS REFERENCE ONLY. CONTRACTOR SHALL ENSURE COORDINATION OF ELECTRICAL ITEMS WITH BUILDING CONSTRUCTION AND EQUIPMENT AND SHALL OBTAIN THE NEEDED INFORMATION TO PROVIDE A COMPLETE AND WORKING INSTALLATION.
25. PER IBC SECTION 703.6, WALL RATING TO BE MARKED ABOVE CEILING AT INTERVALS NOT TO EXCEEDING 30'-0". TYPICAL.

**FLOOR PLAN CODED NOTES:**

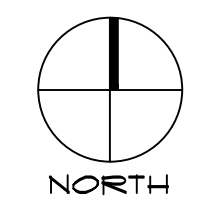
- ① PROVIDE 4'-0" HIGH SURFACE MOUNTED CORNER GUARD.
- ② PROVIDE SEMI-RECESSED FIRE EXTINGUISHER AND CABINET. MOUNT PER ADA SPECIFICATIONS.
- ③ PROVIDE ADA COMPLIANT INPRO 1200 SERIES HANDRAIL. SEE INTERIORS FOR COLOR. MOUNT 34" A.F.F. TO TOP OF HANDRAIL.
- ④ RATED/INSULATED ATTIC ACCESS PANEL (WITH FIXED LADDER AT MECH. A116)
- ⑤ WOOD COLUMN UNRAFFED W/ CONTINUOUS LAYER OF 3/4" TYPE 'X' GMB. FINISH MATERIAL TO BE GLAD IN WOOD 1X MAPLE MATERIAL MITERED CORNERS, STAINED AND DISTRESSED TO MATCH FLOORING, SEE 10(A7.1) & INTERIORS.
- ⑥ HALF WALL WITH WOOD CAP. REFER TO ELEVATIONS.
- ⑦ OWNER SUPPLIED, CONTRACTOR INSTALLED WALL MOUNTED TV. CONTRACTOR TO PROVIDE WALL MOUNT, POWER & CABLE CONNECTIONS AS REQUIRED.
- ⑧ PROVIDE PUSH BUTTON TO OPEN DOOR NUMBER B100.2.
- ⑨ PROVIDE (8'-18" ADJUSTABLE FLAT SHELVES ON HEAVY DUTY BRACKETS.

**FLOOR PLAN SYMBOLS:**

- ◊ WINDOW TYPE - SEE WINDOW SCHEDULE ON SHEET A2.1
- ⊕ DOOR NUMBER
- ⊕ BUILDING/WALL SECTION TAG
- ⊕ DETAIL TAG
- ⊕ EXTERIOR ELEVATION TAG
- ⊕ WALL TYPES - SEE SHEET A5.2



\*\*\* SEE SHEET A6.2 FOR 1/4" RESIDENT UNIT PLANS AND RESIDENT UNIT INTERIOR ELEVATIONS \*\*\*



PRELIMINARY - NOT FOR CONSTRUCTION

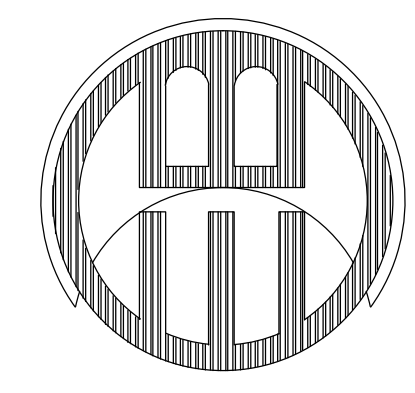
**WATERLOO RIVER WALK ASSISTED LIVING**  
333 W. MADISON ST., WATERLOO, WI

REVISION:


PROJECT NO. 14-003

DATE: 9.24.2015

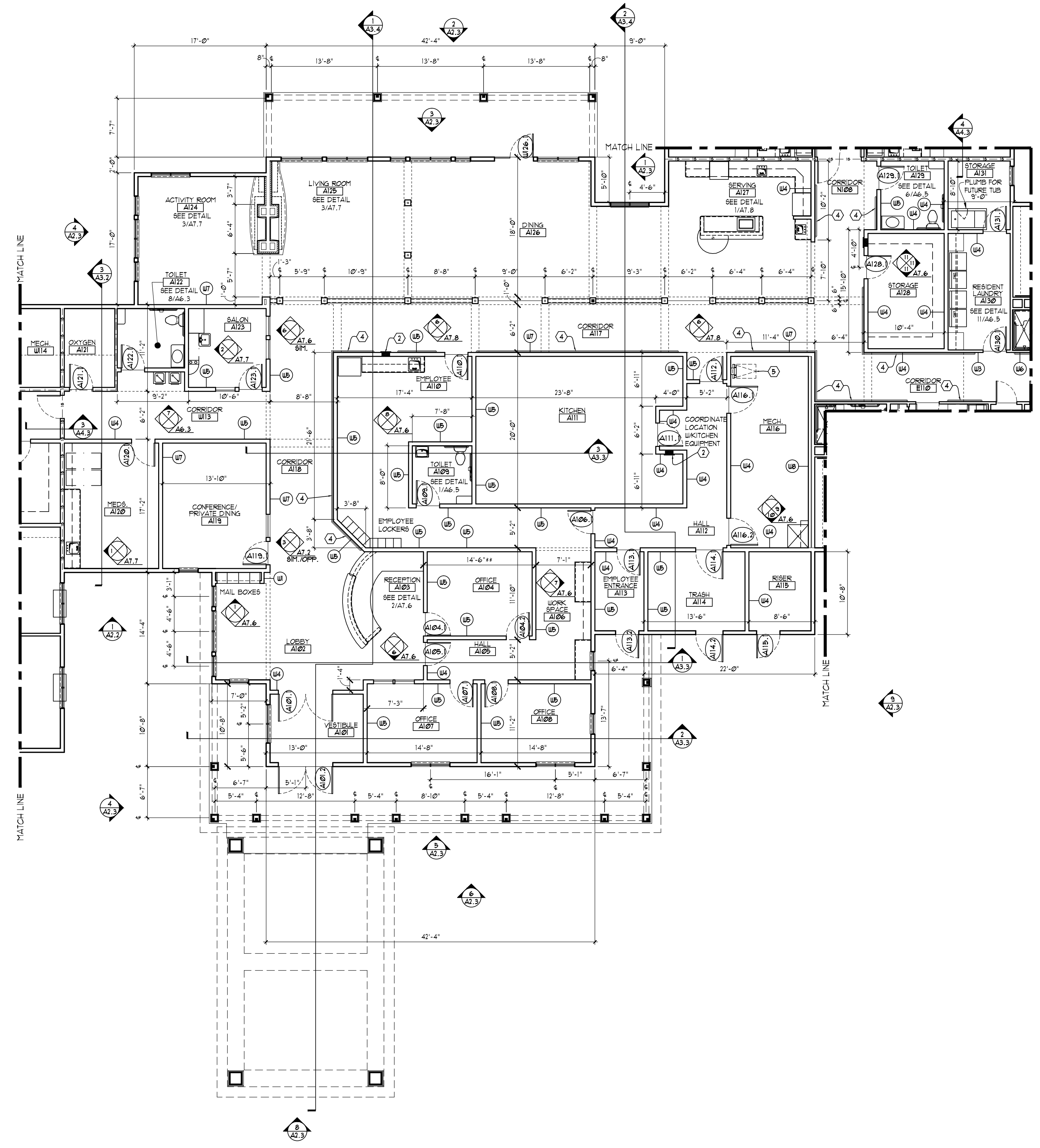
SHEET NAME:  
FLOOR PLAN - WEST WING DIMENSIONS & WALL TYPES LEGEND & NOTES  
SHEET NO:



**NOTES ON FLOOR PLAN DIMENSIONS:**

- EXTERIOR DIMENSIONS ARE FROM FACE OF FOUNDATION WALL TO FACE OF FOUNDATION WALL (EXCEPT IF NOTED OTHERWISE).
- ALL INTERIOR DIMENSIONS ARE FROM FACE OF FOUNDATION TO STUD FACE AND STUD FACE-TO-STUD FACE (EXCEPT IF NOTED OTHERWISE). RESIDENT UNIT SHARED WALLS/PARTY WALLS ARE DIMENSION TO CENTERLINE OF THE WALL, WHERE INDICATED.
- ALL WINDOW LOCATIONS ARE DIMENSIONED TO CENTER OF WINDOW UNIT IN WOOD FRAMED WALLS (UNLESS NOTED OTHERWISE).

⊕ = CENTERLINE  
 ± = PLUS OR MINUS - FOR REFERENCE ONLY



**GENERAL NOTES**

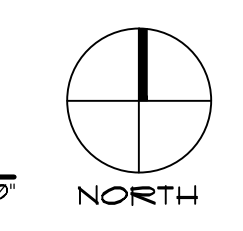
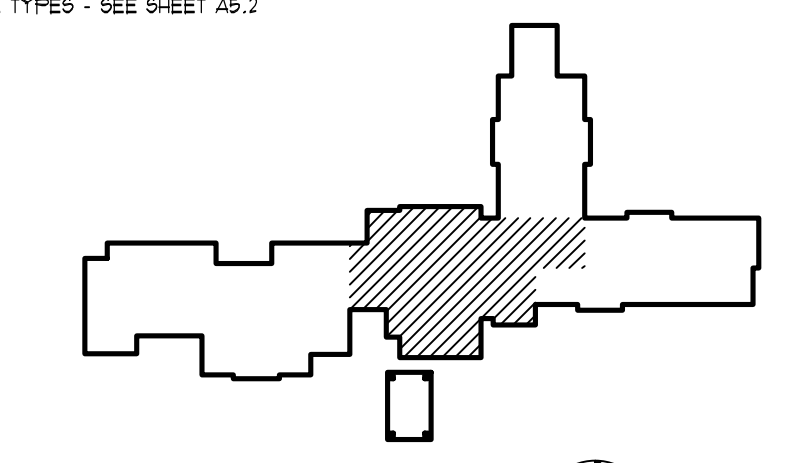
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION PRIOR TO START OF FABRICATION / CONSTRUCTION.
- ALL WALLS TO BE TYPE A UNLESS NOTED OTHERWISE (SEE SHEET A1.1, A1.2 OR A1.3 FOR WALL TYPES).
- DURING CONSTRUCTION, AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS.
- CONTRACTOR TO INSTALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES.
- PROVIDE WOOD BLOCKING AS REQUIRED TO SUPPORT ALL CABINETS, SHELVES, BUILT-IN EQUIPMENT OR ACCESSORIES. COORDINATE WITH VENDOR DOCUMENTS WHERE SUCH CONDITIONS APPLY.
- STUD FRAMING EXTENDED TO STRUCTURE ABOVE.
- SEAL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE BARRIERS TO MEET REQUIRED RATINGS. UTILIZE UL APPROVED METHODS.
- PROVIDE CONTINUOUS VAPOR BARRIER (ON WARM SIDE OF WALL) ALONG ENTIRE PERIMETER OF EXTERIOR WALL FROM FLOOR TO ROOF DECK. ALL PENETRATIONS TO BE SEALED.
- ALL PENETRATIONS OF EXTERIOR WALL ARE TO BE MADE AIR TIGHT.
- G.C. TO COORDINATE ALL REQUIRED UNDERCUT DOORS WITH MECHANICAL CONTRACTOR.
- ALL DOOR HARDWARE TO BE ADA ACCESSIBILITY CODE-APPROVED LEVER SETS (EXCEPT AS OTHERWISE NOTED).
- ALL PUBLIC/COMMON INTERIOR DOORS TO BE MAPLE CLAD WOOD, 1 3/4" SOLID CORE WOOD WITH PLYN Sliced VENEER, BOTH SIDES.
- PROVIDE 5/8" TYPE "X" GYPSUM BOARD AT ALL LOCATIONS UNLESS OTHERWISE NOTED. B) PROVIDE 5/8" TYPE "X" MOISTURE RESISTANT GYPSUM BOARD AT PLUMBING PARTITIONS AND PARTITION FACE WITHIN 6'-0" OF ALL PLUMBING FIXTURES. C) PROVIDE CEMENT PLASTER BOARD AS BACK-UP AT ALL CERAMIC WALL TILE LOCATIONS.
- HOLD 1/2" CLEARANCE BETWEEN FLOOR AND GYPSUM BOARD. FILL GAP BETWEEN BOTTOM EDGE OF GYPSUM BOARD AND FLOOR WITH MOISTURE RESISTANT MASTIC CAULKING. STRIKE COMPOUND SMOOTH AND FLUSH WITH FACE OF PARTITION. REMOVE EXCESS MASTIC CAULKING FROM PARTITION AND FLOOR.
- ALL VINYL OR FABRIC WALL COVERINGS AT CORRIDOR CORNER LOCATIONS TO RECEIVE A CLEAR PLASTIC CORNER GUARD TO A HEIGHT OF 4'-0" A.F.F. UNLESS OTHER PROTECTION IS SPECIFIED.
- CHANGES IN FLOOR MATERIALS SHALL BE LOCATED AT THE CENTERLINE OF DOORS AT SWINGING DOORS AND FACE OF WALL AT SLIDING DOORS, UNLESS NOTED OTHERWISE.
- VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ACCESS TO MECHANICAL AND ELECTRICAL ITEMS.
- COORDINATE LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ACCESS TO MECHANICAL AND ELECTRICAL ITEMS.
- NOTIFY THE ARCHITECT IF ELECTRICAL / COMMUNICATION / HVAC / PLUMBING / IF ITEMS DEPICTED CONFLICT WITH ADA REQUIREMENTS OR INDUSTRY STANDARDS PRIOR TO INSTALLATION. NOTE: ALL DEVICES AND CONTROLS TO BE INSTALLED WITHIN A MAXIMUM OF 4" OF EACH OTHER HORIZONTALLY (NOT 16" O.C.) AND ALIGN THE BOTTOMS OF EACH ITEM. IN THE VERTICAL POSITION ALIGN THE ITEMS ON CENTERLINES.
- PROVIDE INSULATION KITS AT ALL ADA ACCESSIBLE LAVATORIES.
- PROVIDE GFI ELECTRICAL OUTLETS AT LOCATIONS REQUIRED BY CODE.
- E.C. TO COORDINATE COLOR OF ELECTRICAL DEVICES WITH ARCHITECT/INTERIOR DESIGNER PRIOR TO BID. (BASE BID: WHITE)
- LIGHTING EXIT LIGHTING INFORMATION, ELECTRICAL DATA AND TELEPHONE INFORMATION SHOWN ARE FOR ELECTRICAL CONTRACTORS REFERENCE ONLY. CONTRACTOR SHALL ENSURE COORDINATION OF ELECTRICAL ITEMS WITH BUILDING CONSTRUCTION AND EQUIPMENT AND SHALL OBTAIN THE NEEDED INFORMATION TO PROVIDE A COMPLETE AND WORKING INSTALLATION.
- PER IBC SECTION 703.6, WALL RATINGS TO BE MARKED ABOVE CEILING AT INTERVALS NOT TO EXCEEDING 30'-0" TYPICAL.

**FLOOR PLAN CODED NOTES:**

- PROVIDE 4'-0" HIGH SURFACE MOUNTED CORNER GUARD.
- PROVIDE SEMI-RECESSED FIRE EXTINGUISHER AND CABINET. MOUNT PER ADA SPECIFICATIONS.
- 
- PROVIDE ADA COMPLIANT INFRARED SERIES HANDRAIL, SEE INTERIORS FOR COLOR, MOUNT 34" A.F.F. TO TOP OF HANDRAIL.
- RATED/INSULATED ATTIC ACCESS PANEL WITH FIXED LADDER AT MECH. A116.
- WOOD COLUMN WRAPPED W/ 1 CONTINUOUS LAYER OF 3/4" TYPE "X" GYB. FINISH MATERIAL TO BE CLAD IN WOOD 1X MAPLE MATERIAL W/ MITERED CORNERS, STAINED AND DISTRESSED TO MATCH FLOORING, SEE 10/A7.1 & INTERIORS.
- HALF WALL WITH WOOD CAP- REFER TO ELEVATIONS.
- OWNER SUPPLIED, CONTRACTOR INSTALLED WALL MOUNTED TV. CONTRACTOR TO PROVIDE WALL MOUNT, POWER & CABLE CONNECTIONS AS REQUIRED.
- PROVIDE PUSH BUTTON TO OPEN DOOR NUMBER B100.2.
- PROVIDE (5)- 18" ADJUSTABLE FLAT SHELVES ON HEAVY DUTY BRACKETS.

**FLOOR PLAN SYMBOLS:**

- ◇ - WINDOW TYPE - SEE WINDOW SCHEDULE ON SHEET A2.1
- ④ - DOOR NUMBER
- ⊕ - BUILDING/WALL SECTION TAG
- ⊕ - DETAIL TAG
- ⊕ - EXTERIOR ELEVATION TAG
- ⊕ - WALL TYPES - SEE SHEET A5.2



KEY PLAN

**WATERLOO RIVER WALK ASSISTED LIVING**  
 333 W. MADISON ST., WATERLOO, WI

REVISION:


PROJECT NO. 14-003

DATE: 9.24.2015

SHEET NAME:  
 ADMIN./COMMON FLOOR PLAN DIMENSIONS & WALL TYPES LEGEND & NOTES  
 SHEET NO:

**A1.2**  
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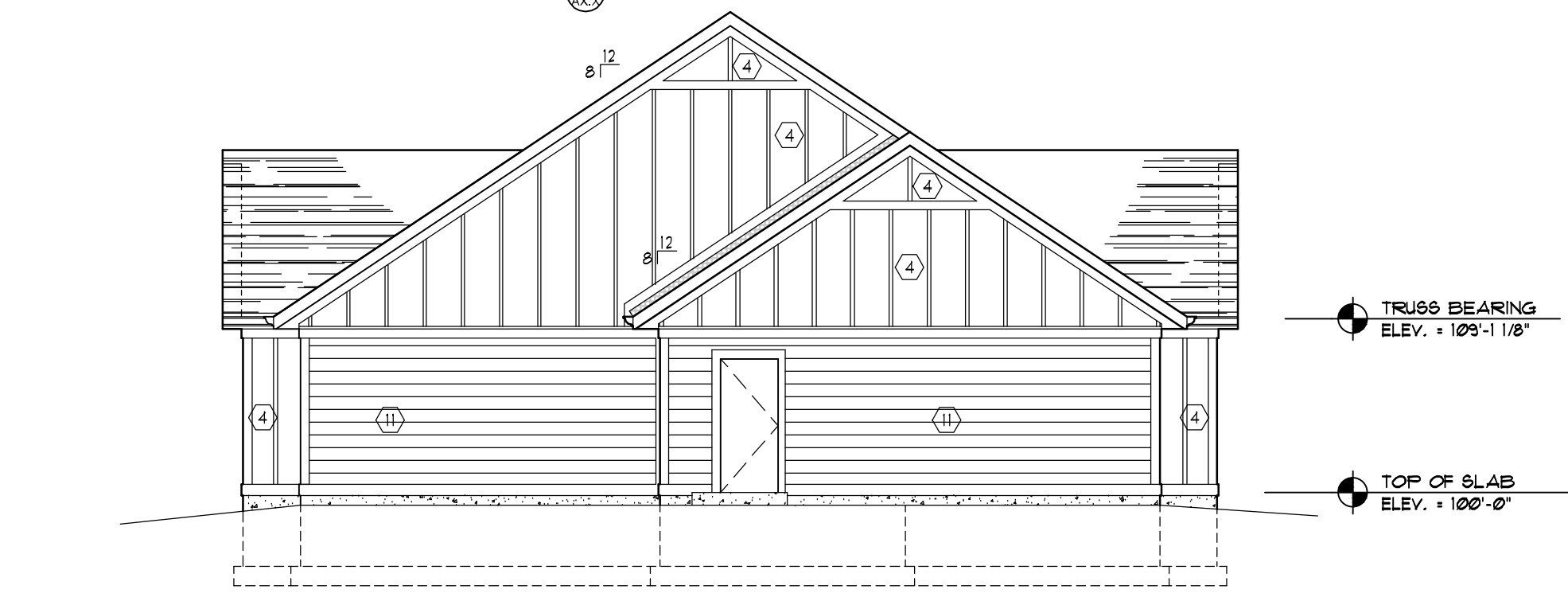






1 EAST WING - SOUTH ELEVATION  
SEE SHEET A2.1 FOR WINDOW SCHEDULE

SCALE: 1/8" = 1'-0"



2 EAST WING - EAST ELEVATION  
SEE SHEET A2.1 FOR WINDOW SCHEDULE

SCALE: 1/8" = 1'-0"

ELEVATION SYMBOLS:

- 30 YEAR DIMENSIONAL ASPHALT SHINGLES
- FIBER CEMENT SIDING (HARDIEPLANK LAP SIDING OR EQUAL), 8" EXPOSURE
- FIBER CEMENT SIDING (HARDIEPANEL VERTICAL SIDING OR EQUAL), 2 1/2" EXPOSURE
- WINDOW TYPE - SEE WINDOW SCHEDULE ON SHEET A2.1
- FLASHING (PROVIDE KICK FLASHING AT ALL GUTTER AND WALL INTERSECTIONS)
- BUILDING/WALL SECTION TAG
- DETAIL TAG

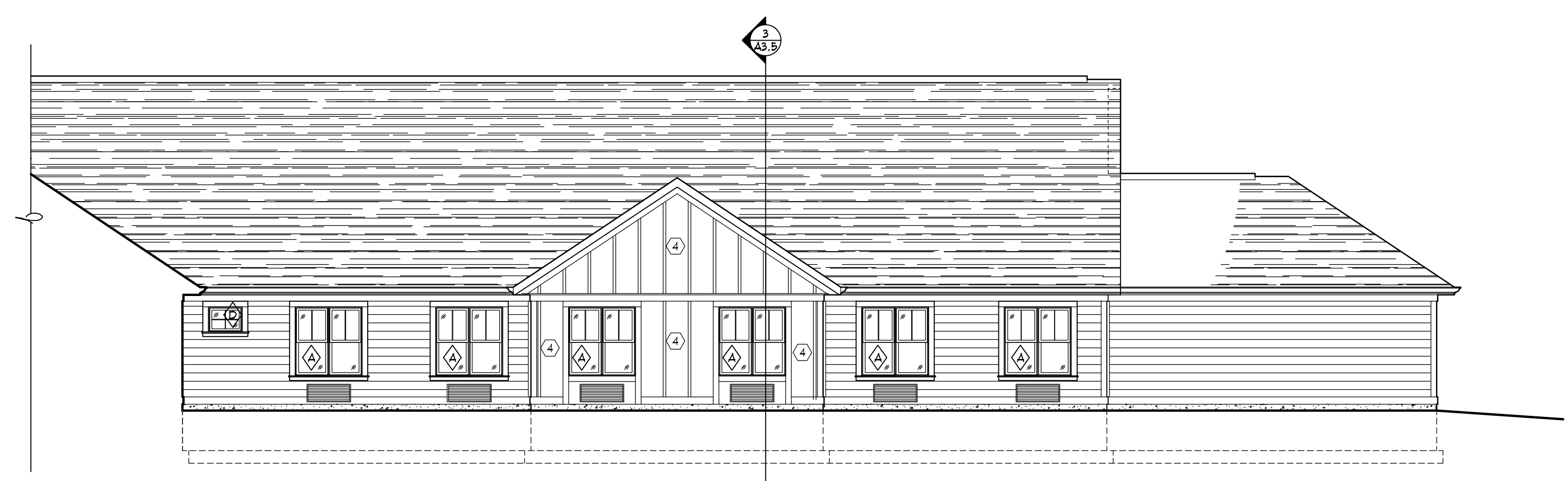
ELEVATION CODED NOTES:

- ① DIMENSIONAL ASPHALT SHINGLES
- ② RIDGE VENT
- ③ FIBER CEMENT SIDING (HARDIEPLANK LAP SIDING OR EQUAL), 8" EXPOSURE
- ④ FIBER CEMENT SIDING (HARDIEPANEL VERTICAL SIDING SELECT CEDAR MILL OR EQUAL), w/ 2 1/2" FIBER CEMENT BATTENS, BATTENS SPACED @ 24" O.C. (FIELD VERIFY SPACING)
- ⑤ 1/2" X 6 FIBER CEMENT CORNER BOARDS, WINDOW CASINGS & GENERAL TRIM BOARDS. ALTERNATE: 1/2" X 6 MIRATEC TRIM BOARD
- ⑥ 1/2" X 8 FIBER CEMENT BASE BOARDS & FRIEZE BOARDS. ALTERNATE: 1/2" X 8 MIRATEC TRIM BOARD
- ⑦ 1/2" X 3 FIBER CEMENT INSIDE CORNER BOARDS. ALTERNATE: 1/2" X 6 MIRATEC TRIM BOARD
- ⑧ 1/2" X 10 FIBER CEMENT TRIM BOARDS. ALTERNATE: 1/2" X 10 MIRATEC TRIM BOARD
- ⑨ PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS. PROVIDE KICK FLASHING AT ALL GUTTER AND WALL INTERSECTIONS
- ⑩ P-TAC UNIT
- ⑪ 1 3/4" INSULATED HOLLOW METAL DOOR & FRAME, PAINTED TO MATCH ADJACENT. REFER TO DOOR SCHEDULE.
- ⑫ HB&G SQUARE, RECESSED PANEL, PERMACAST COLUMN 10" WITH TUSCAN CAP AND BASE



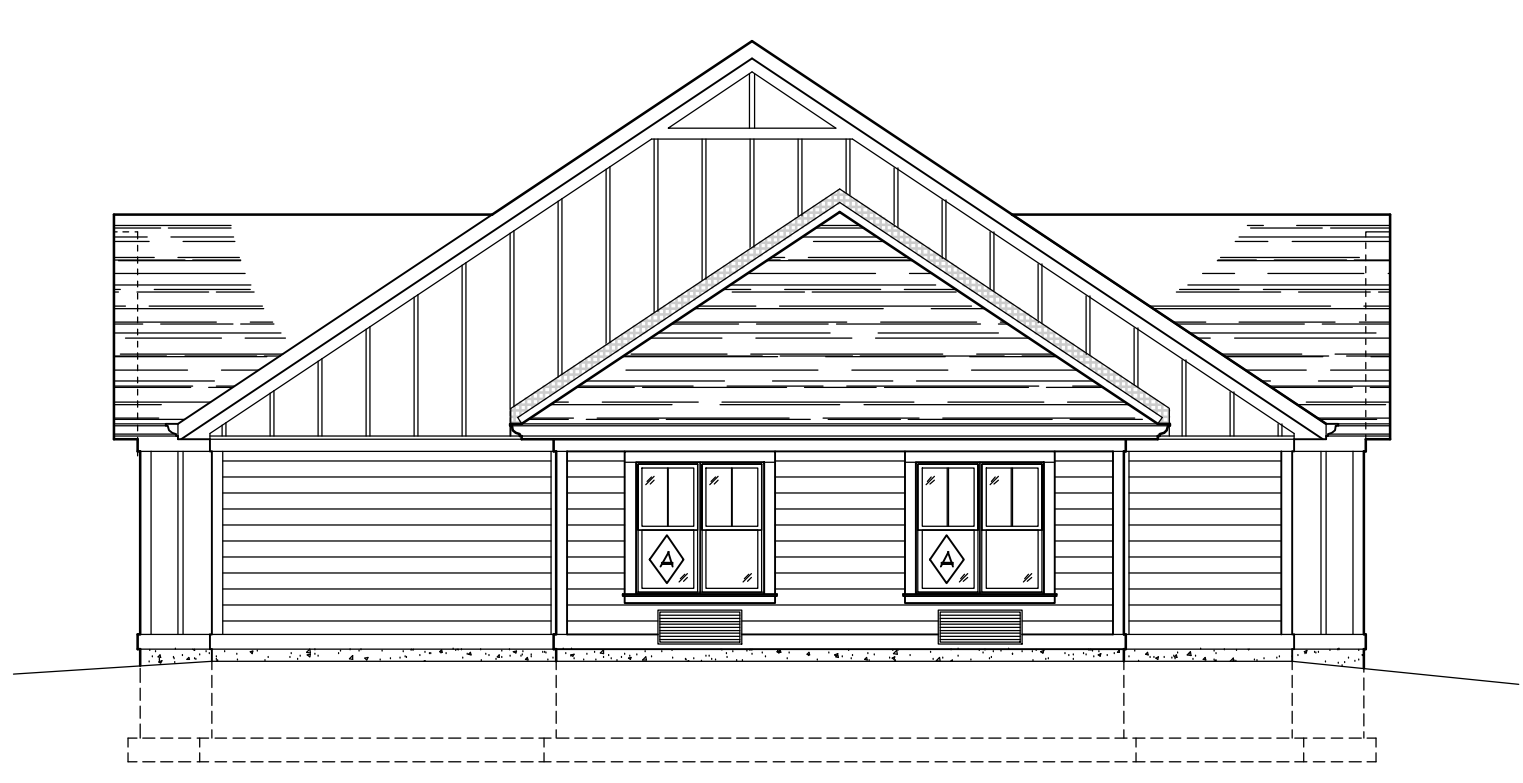
3 EAST WING - NORTH ELEVATION  
SEE SHEET A2.1 FOR WINDOW SCHEDULE

SCALE: 1/8" = 1'-0"



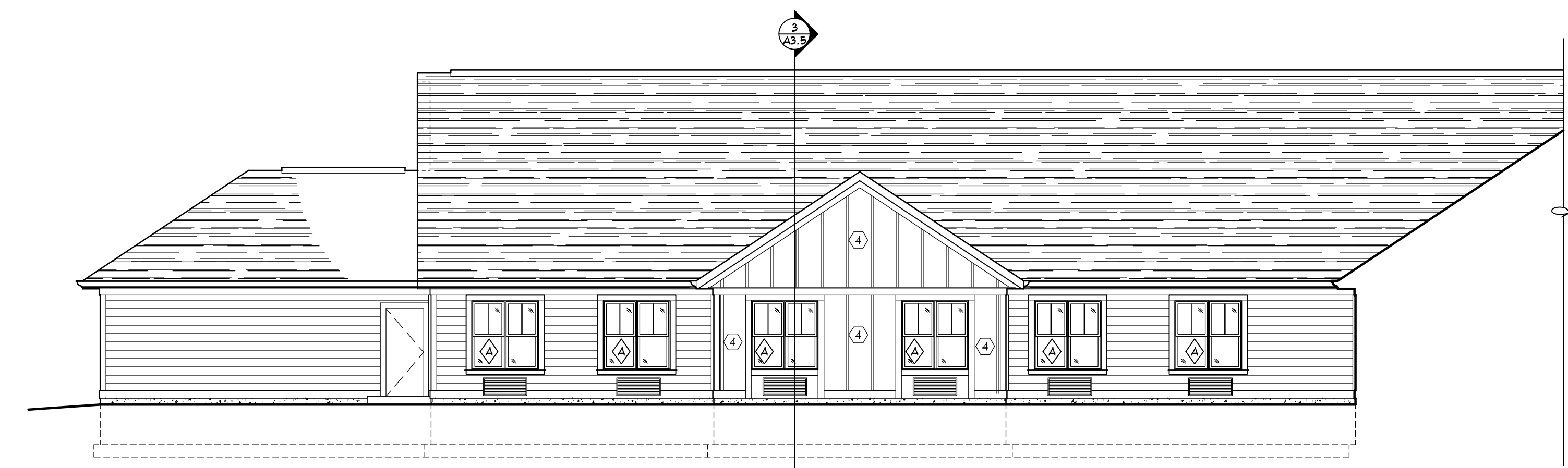
4 NORTH WING - EAST ELEVATION  
SEE SHEET A2.1 FOR WINDOW SCHEDULE

SCALE: 1/8" = 1'-0"



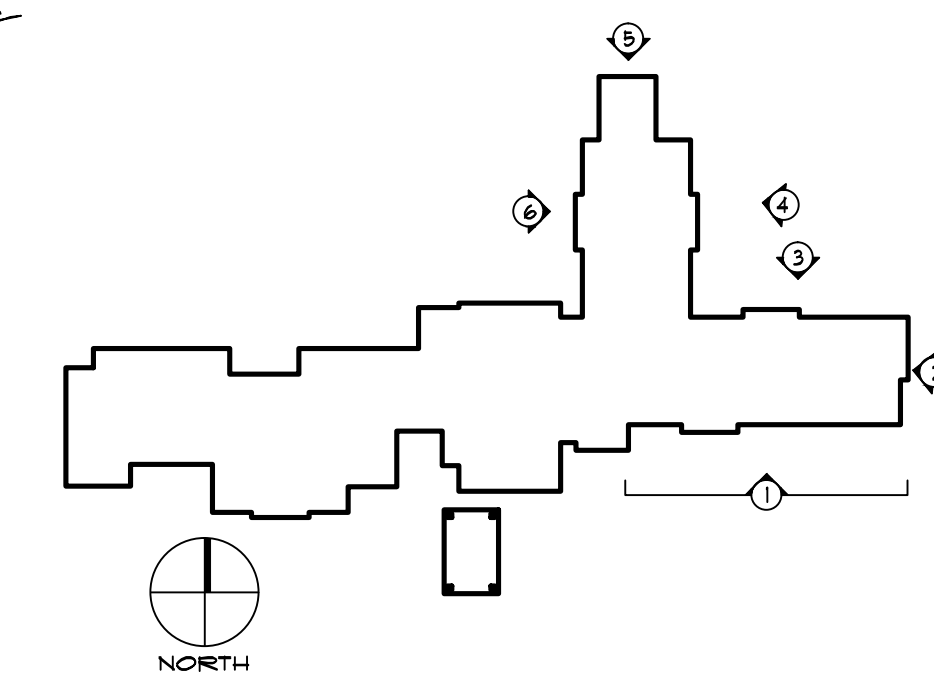
5 NORTH WING - NORTH ELEVATION  
SEE SHEET A2.1 FOR WINDOW SCHEDULE

SCALE: 1/8" = 1'-0"



6 NORTH WING - WEST ELEVATION  
SEE SHEET A2.1 FOR WINDOW SCHEDULE

SCALE: 1/8" = 1'-0"



**WATERLOO RIVER WALK ASSISTED LIVING**  
333 W. MADISON ST., WATERLOO, WI

REVISION:


PROJECT NO. 14-003

DATE: 9.24.2015

SHEET NAME: EXTERIOR BUILDING ELEVATIONS

SHEET NO:

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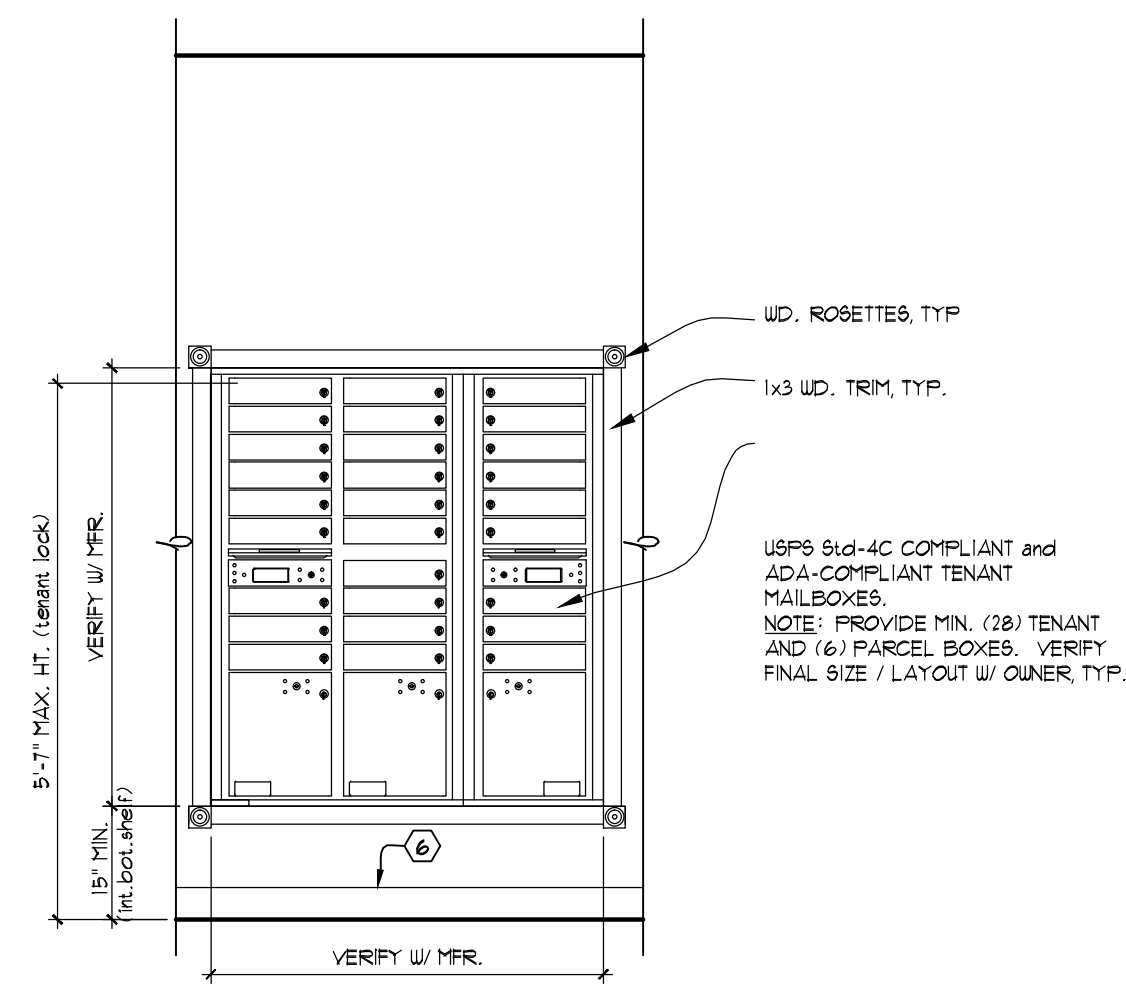
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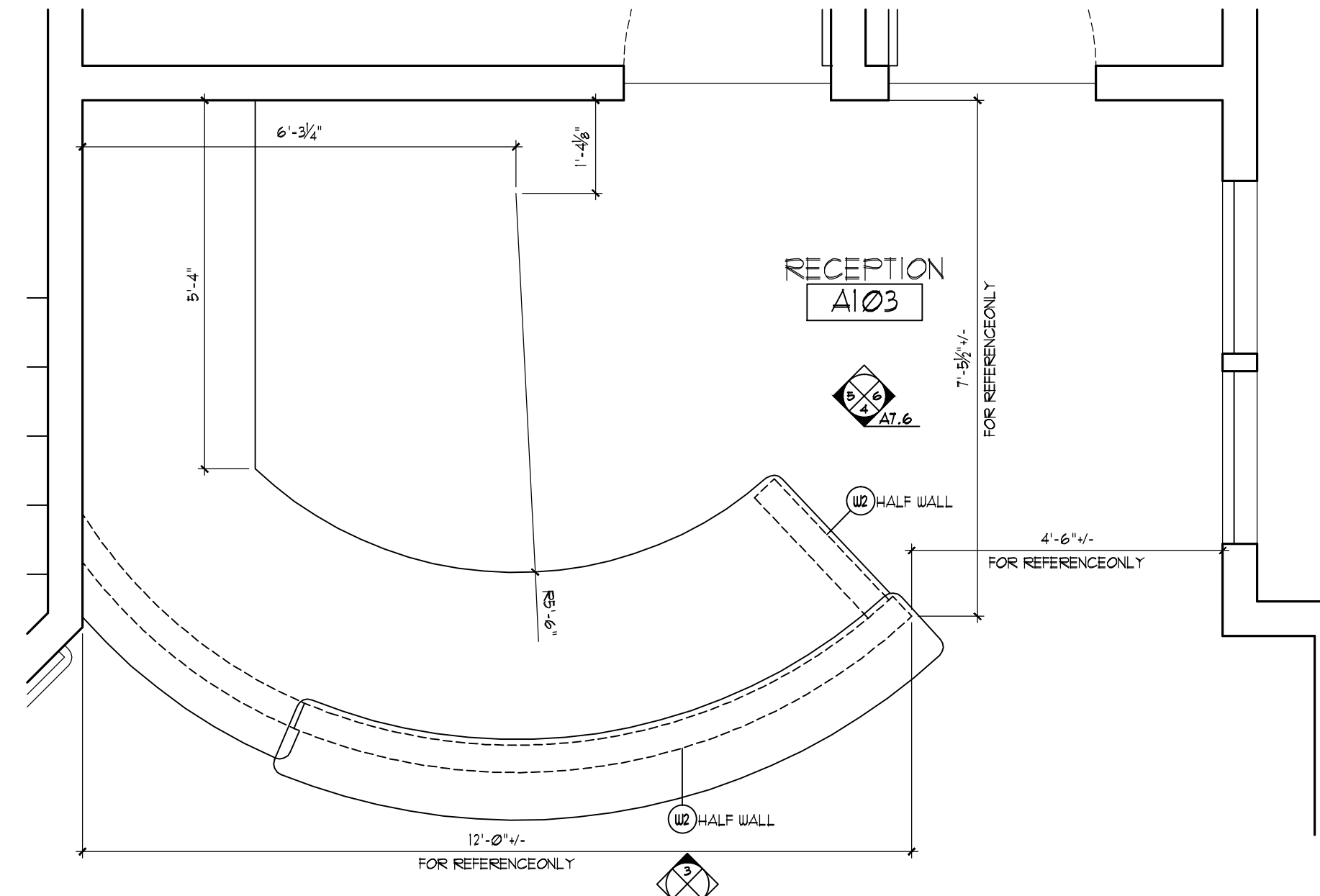
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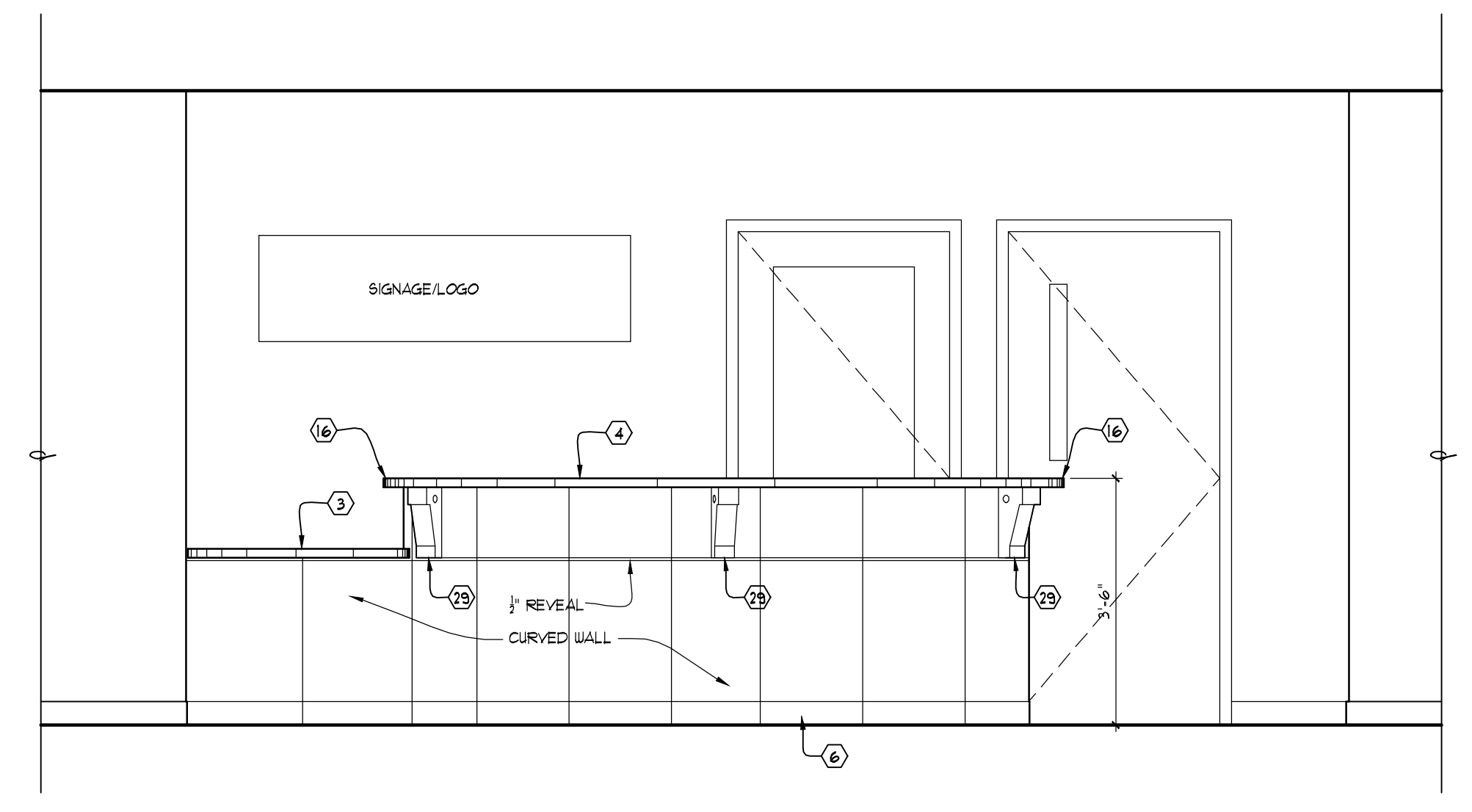




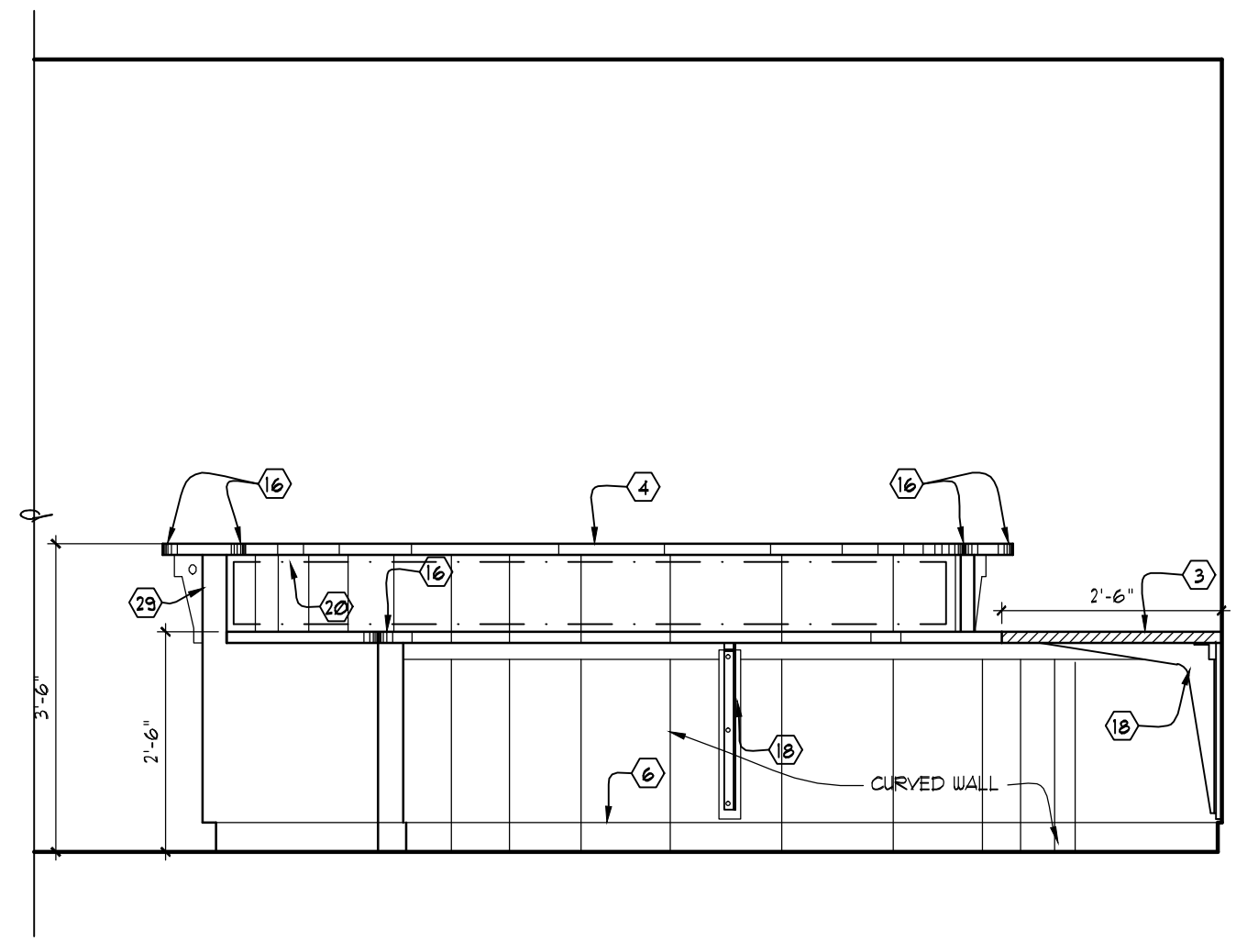
1 ELEVATION - LOBBY A102 - MAILBOXES TWO (2) BANKS  
VERIFY WITH OWNER REGARDING NUMBER OF BOXES REQUIRED  
SCALE: 1/2" = 1'-0"



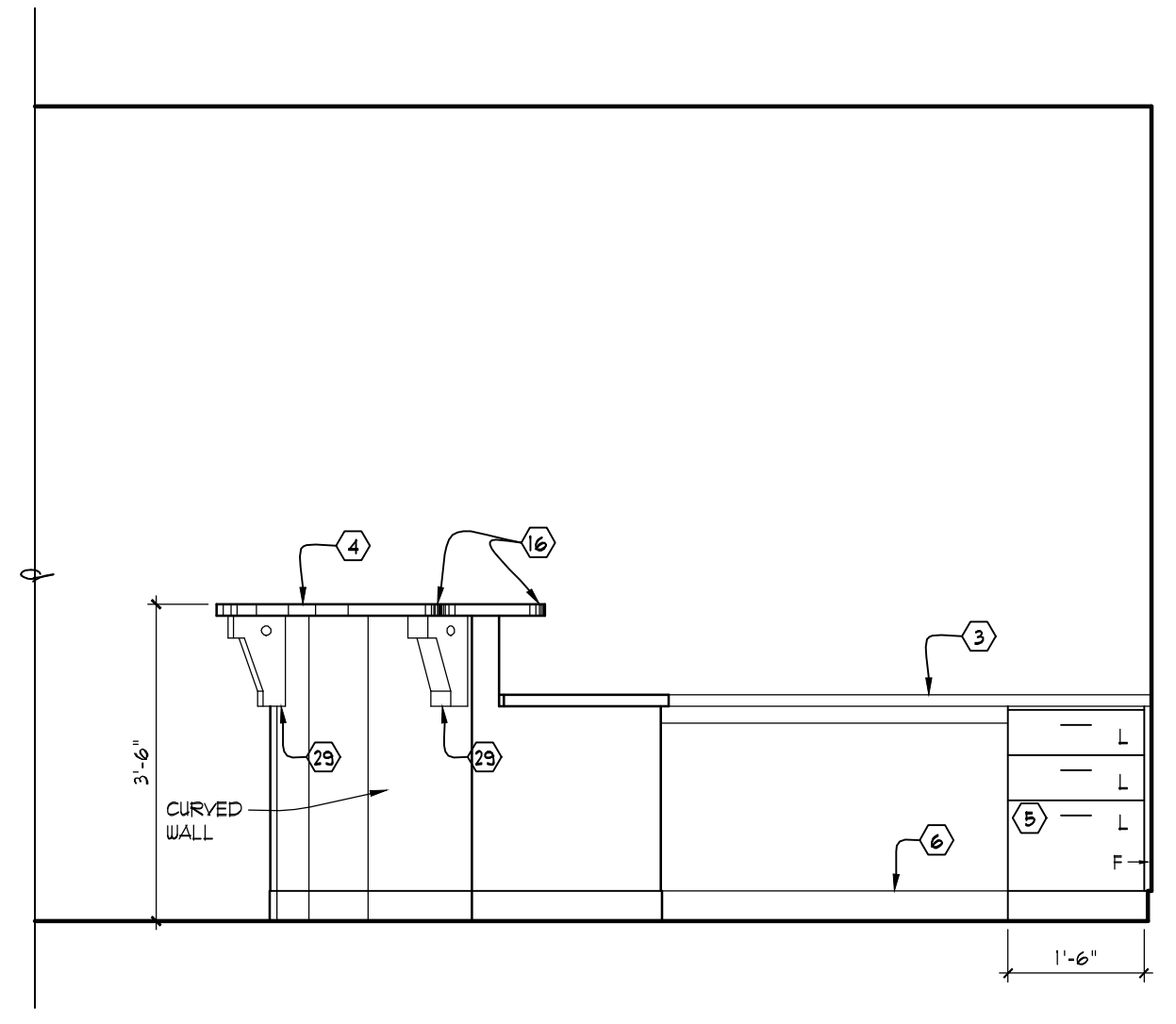
2 FLOOR PLAN - RECEPTION A103  
WALL TYPES - SEE SHEET A5.2  
COUNTERTOP DEPTH: 2'-6"  
TRANSACTION TOP DEPTH: 1'-2"  
SCALE: 1/2" = 1'-0"



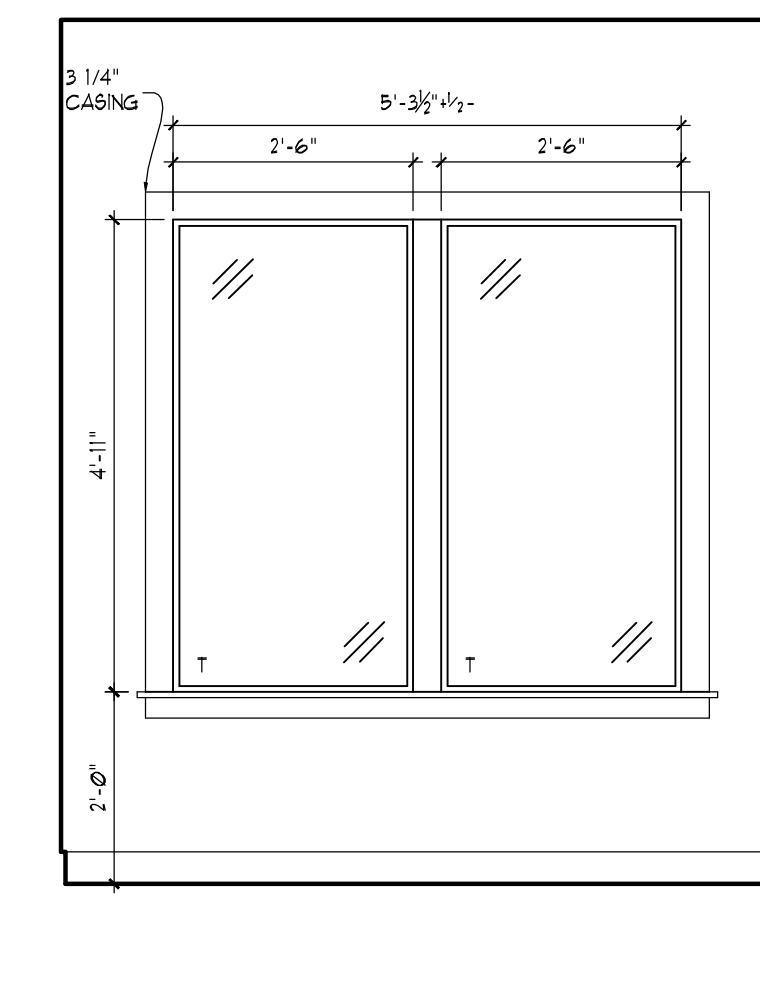
3 ELEVATION - RECEPTION A103  
COUNTERTOP DEPTH: 2'-6"  
TRANSACTION TOP DEPTH: 1'-2"  
SCALE: 1/2" = 1'-0"



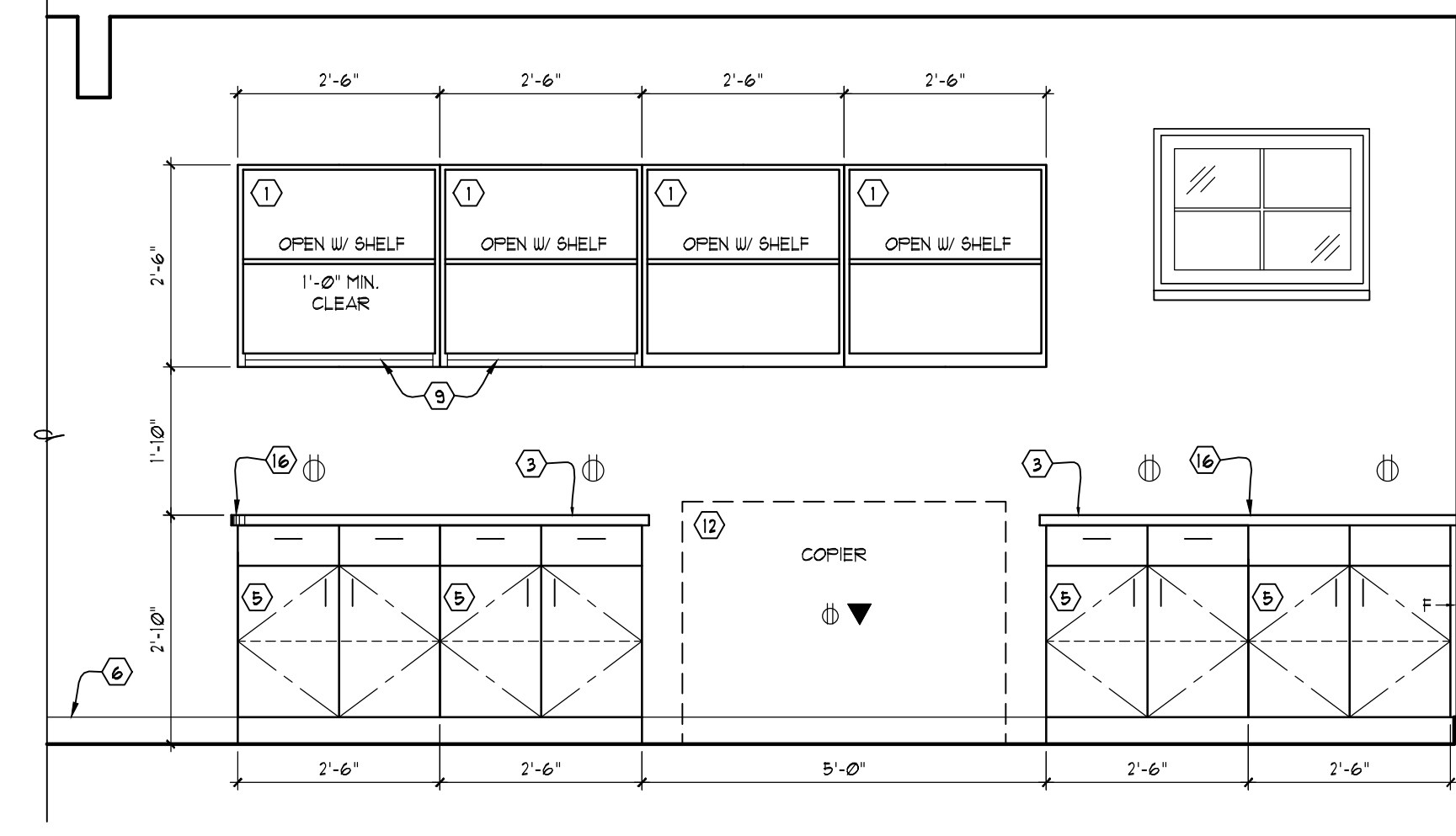
4 ELEVATION - RECEPTION A103  
COUNTERTOP DEPTH: 2'-6"  
TRANSACTION TOP DEPTH: 1'-2"  
SCALE: 1/2" = 1'-0"



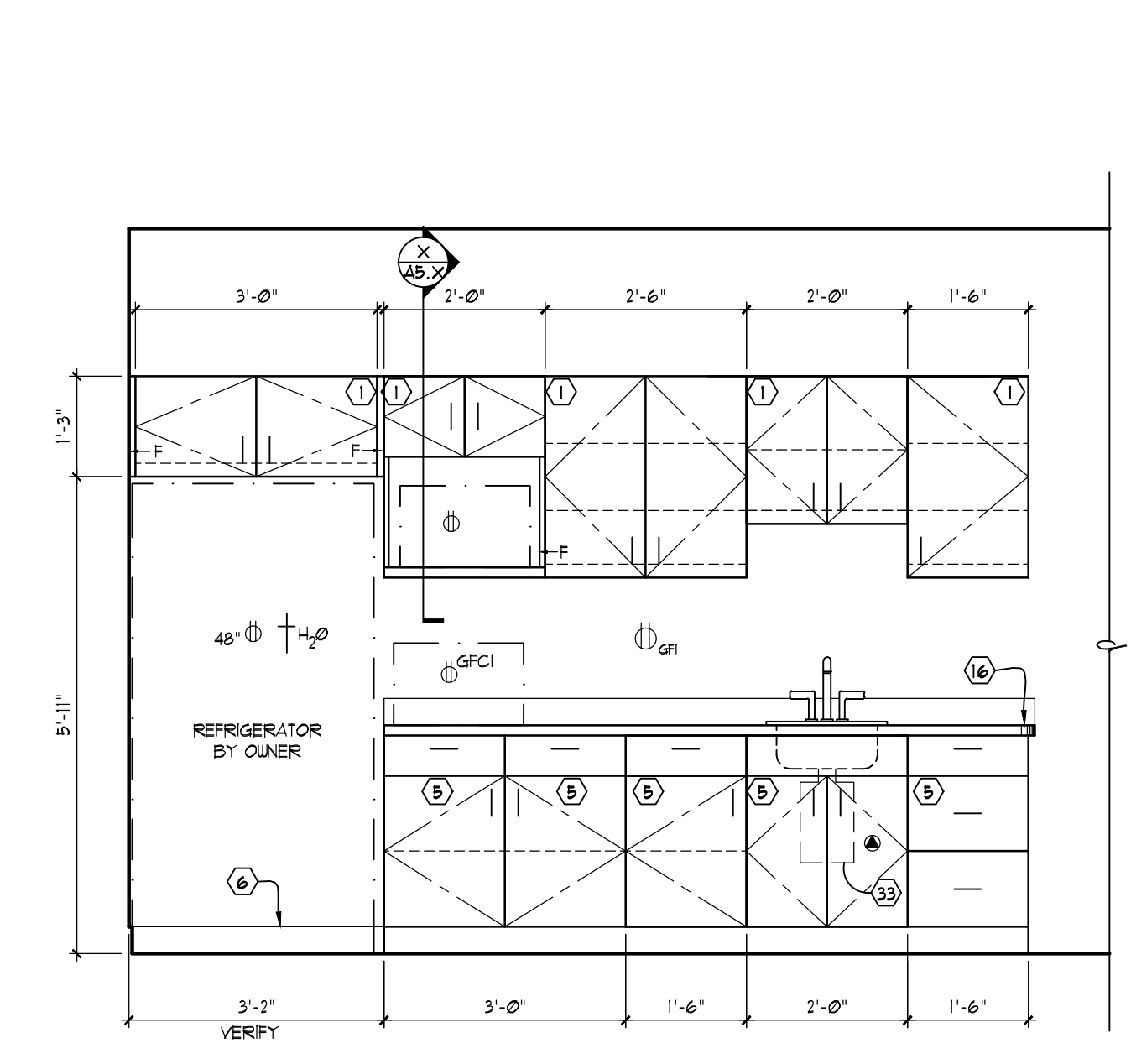
5 ELEVATION - RECEPTION A103  
COUNTERTOP DEPTH: 2'-6"  
TRANSACTION TOP DEPTH: 1'-2"  
BASE CABINET DEPTH: 2'-0"  
SCALE: 1/2" = 1'-0"



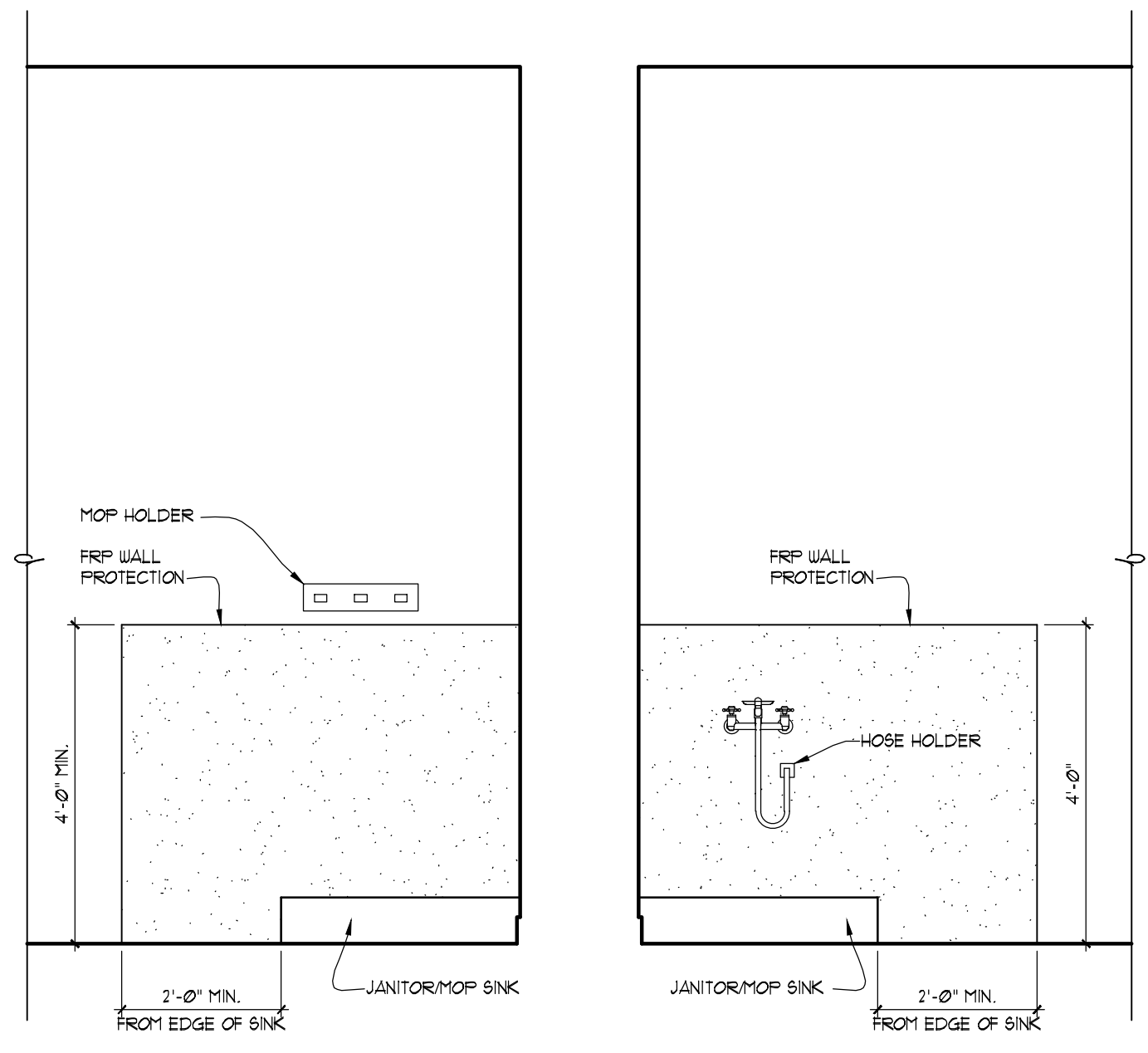
6 ELEVATION - RECEPTION A103/SALON A123  
COUNTERTOP DEPTH: 2'-6"  
TRANSACTION TOP DEPTH: 1'-2"  
BASE CABINET DEPTH: 2'-0"  
SCALE: 1/2" = 1'-0"



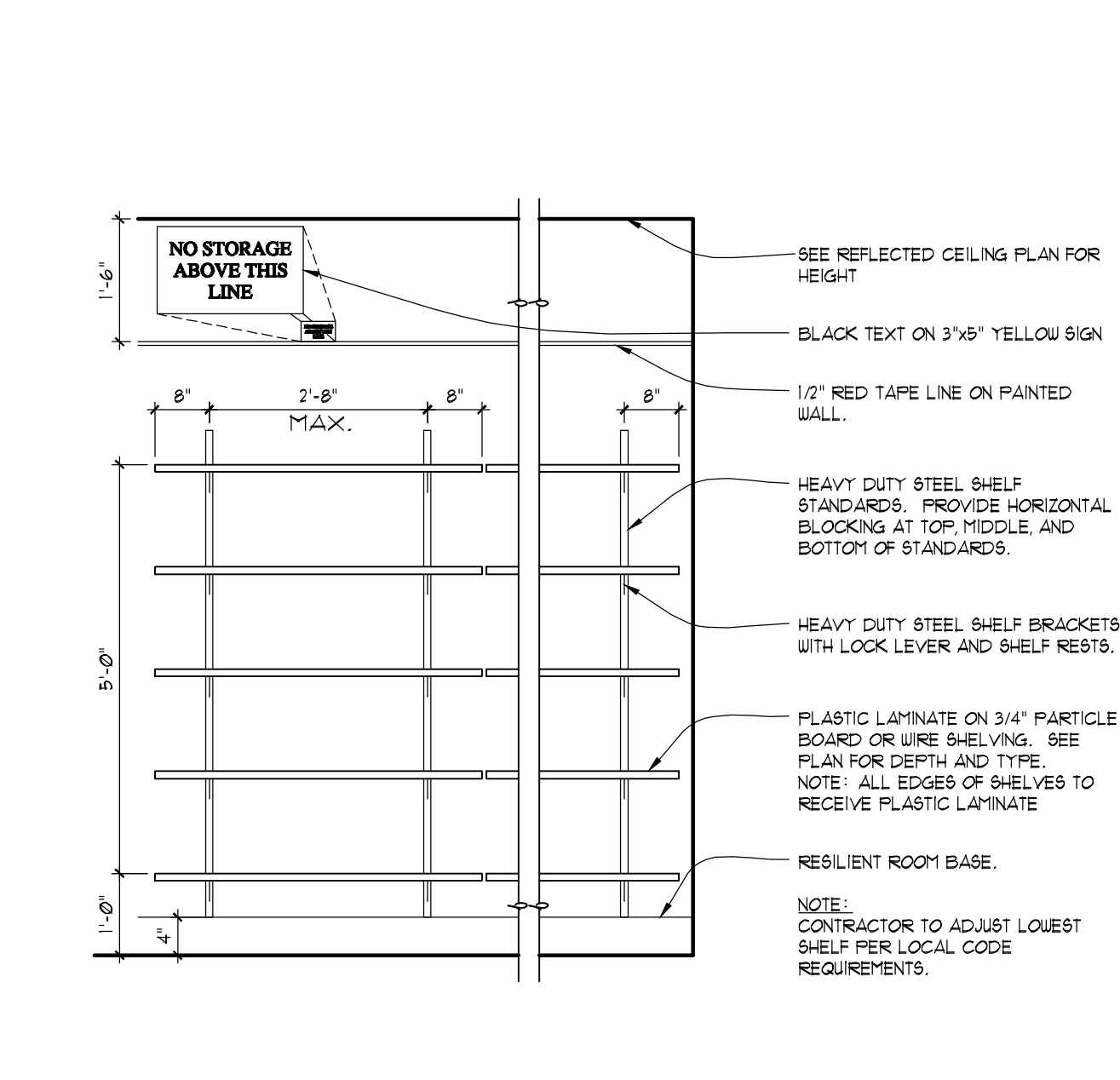
7 ELEVATION - WORK SPACE A106  
24" DEEP LOWER CABINETS  
25" DEEP COUNTERTOP  
15" DEEP WALL CABINETS  
SCALE: 1/2" = 1'-0"



8 ELEVATION - EMPLOYEE A110  
24" DEEP LOWER CABINETS  
25" DEEP COUNTERTOP  
12" DEEP WALL CABINETS, 24" DEEP CABINET OVER THE REFRIGERATOR  
SCALE: 1/2" = 1'-0"



9 ELEVATION - MECH. A116  
SCALE: 1/2" = 1'-0"



10 ELEVATION - MECH. A116  
SCALE: 1/2" = 1'-0"

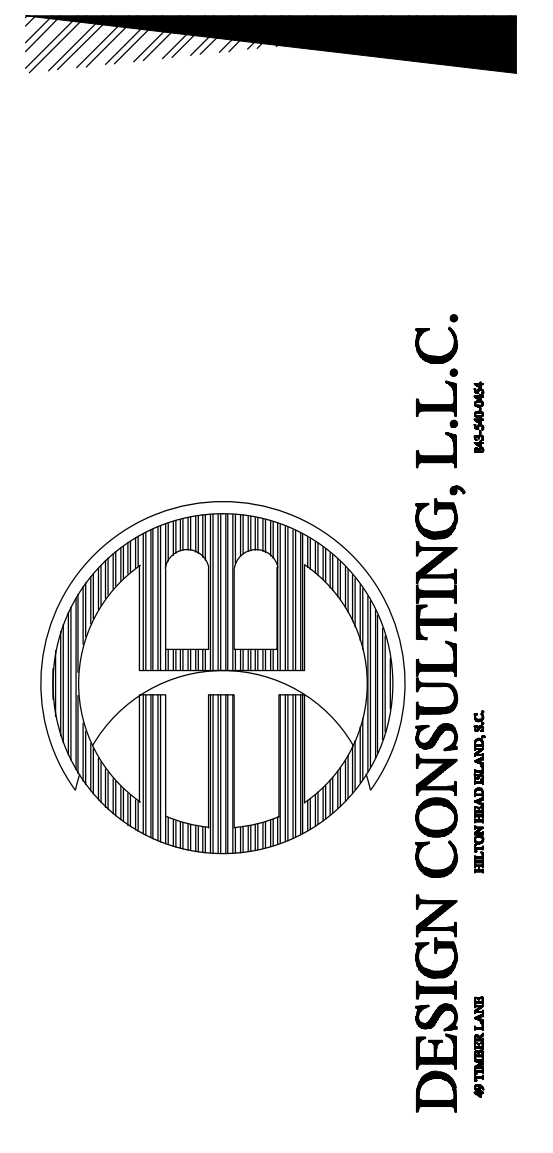
11 STORAGE A128  
SEE FLOOR PLANS FOR SHELF CONFIGURATION  
SCALE: 1/2" = 1'-0"

GENERAL NOTES:

- ALL LOCKS IN CABINETS TO BE KEYED THE SAME.
- ALL FILE DRAWERS TO BE LETTER SIZED UNLESS NOTED OTHERWISE (VERIFY).
- ALL FILE DRAWERS TO HAVE METAL ANGLES MOUNTED TO TOP OF DRAWER SIDES FOR HANGING FILES.
- ALL OPEN SHELVING TO BE ADJUSTABLE.
- AT LOCATIONS WHERE 30" DEEP COUNTERTOPS ARE NOTED: BASE CABINETS TO BE 24" DEEP WITH FILLER PANELS OR SIDE EXTENSIONS AT OPEN ENDS.
- ALL CABINETS TO BE PRE-MANUFACTURED, STANDARD SIZES. DIAMOND CABINETS (STANDARD CONSTRUCTION) OR APPROVED SUBSTITUTION. WOOD (MARBLE) IN RESIDENT AREAS; LAMINATE IN SERVICE AREAS. EXCEPTION WOULD BE THE "BAR".

ELEVATION CODED NOTES:

- WALL CABINETS: (DIAMOND CABINETS OR APPROVED SUBSTITUTION).
- COUNTERTOP WITH INTEGRAL 4" BACK & SIDE SPLASH SEE INTERIORS FOR MATERIAL AND FINISH.
- COUNTER TOP SEE INTERIORS FOR MATERIAL AND FINISH. TRANSACTION COUNTER SEE INTERIORS FOR MATERIAL AND FINISH.
- BASE CABINETS: (DIAMOND CABINETS OR APPROVED SUBSTITUTION) - 24" DEEP.
- RESILIENT ROOM BASE - SEE FINISH SCHEDULE.
- OWNER PROVIDED CONTRACTOR INSTALLED, SURFACE MOUNTED SOAP DISPENSER. MOUNTING HEIGHT TO BE ADA COMPLIANT.
- OWNER PROVIDED CONTRACTOR INSTALLED, SURFACE MOUNTED PAPER TOWEL DISPENSER. MOUNTING HEIGHT TO BE ADA COMPLIANT.
- HARDWARE UNDER CABINET LIGHT W/ SWITCH ON WALL.
- CONTINUOUS WOOD CLEAT PAINTED TO MATCH ADJACENT PARTITION.
- PROVIDE 1 1/4" PLASTIC GROMMET IN PLASTIC LAMINATE COUNTERTOP. VERIFY EXACT LOCATION WITH TENANT / OWNER.
- TENANT PROVIDED EQUIPMENT / FURNITURE.
- 1"x1"x1/8" STEEL TUBE COUNTERTOP SUPPORT CONTINUOUSLY WELDED TO STRUCTURAL STEEL STUD. EASE EXPOSED EDGES OF STEEL.
- BUILDING STANDARD 4'-0" HIGH IPC CORNER GUARD TO MATCH EXISTING IN COLOR AND STYLE.
- SINK W/ ADA FAUCET - SEE PLUMBING DRAWINGS.
- 2" RADIUS CORNER TYPICAL.
- GAMBAS METAL WORKSURFACE SUPPORT BRACKET 18"x24". GAMBAS CO. (P# 717.548.3421 / 800.866.1611 P# 717.548.4276)
- GAMBAS METAL WORKSURFACE SUPPORT BRACKET 24"x24". GAMBAS CO. (P# 717.548.3421 / 800.866.1611 P# 717.548.4276)
- END PANEL TO MATCH CASEWORK.
- PROVIDE FABRIC WRAPPED 5/8" THICK HOMOSOTE TACK-BOARD. MOUNT WITH CONCEALED MECHANICAL FASTENERS.
- WOOD GRAIN PANELS WITH 1" REVEALS. SEE INTERIORS.
- 8" DIA. PAINTED METAL DECORATIVE ROUND COUNTER SUPPORT.
- DECORATIVE COLUMN CLAD IN WOOD 1X OAK MATERIAL W/ MITRED CORNERS, 1" X 6" WOOD BASE, 1" X 4" CAPITAL, STAINED AND DISTRESSED TO MATCH FLOORING. SEE INTERIORS.
- NOT USED.
- CUSTOM CABINETS TO MATCH MATERIAL, STYLE, & FINISH OF PRE-MANUFACTURED CABINETS.
- NOT USED.
- CROWN MOLDING TO MATCH MATERIAL, STYLE, & FINISH OF PRE-MANUFACTURED CABINETS.
- DECORATIVE WOOD BRACKET.
- 18"x30" WARMING TRAY.
- TEMPERED GLASS SHELVES - TYPICAL.
- BREEZE GUARD.
- GARBAGE DISPOSAL.
- TRU-BRO HAND LAY INSULATION KIT AT ALL EXPOSED PIPING.
- SOAP DISPENSER.
- SURFACE MOUNTED PAPER TOWEL DISPENSER.



PRELIMINARY - NOT FOR CONSTRUCTION

**WATERLOO RIVER WALK ASSISTED LIVING**  
333 W. MADISON ST., WATERLOO, WI

REVISION:

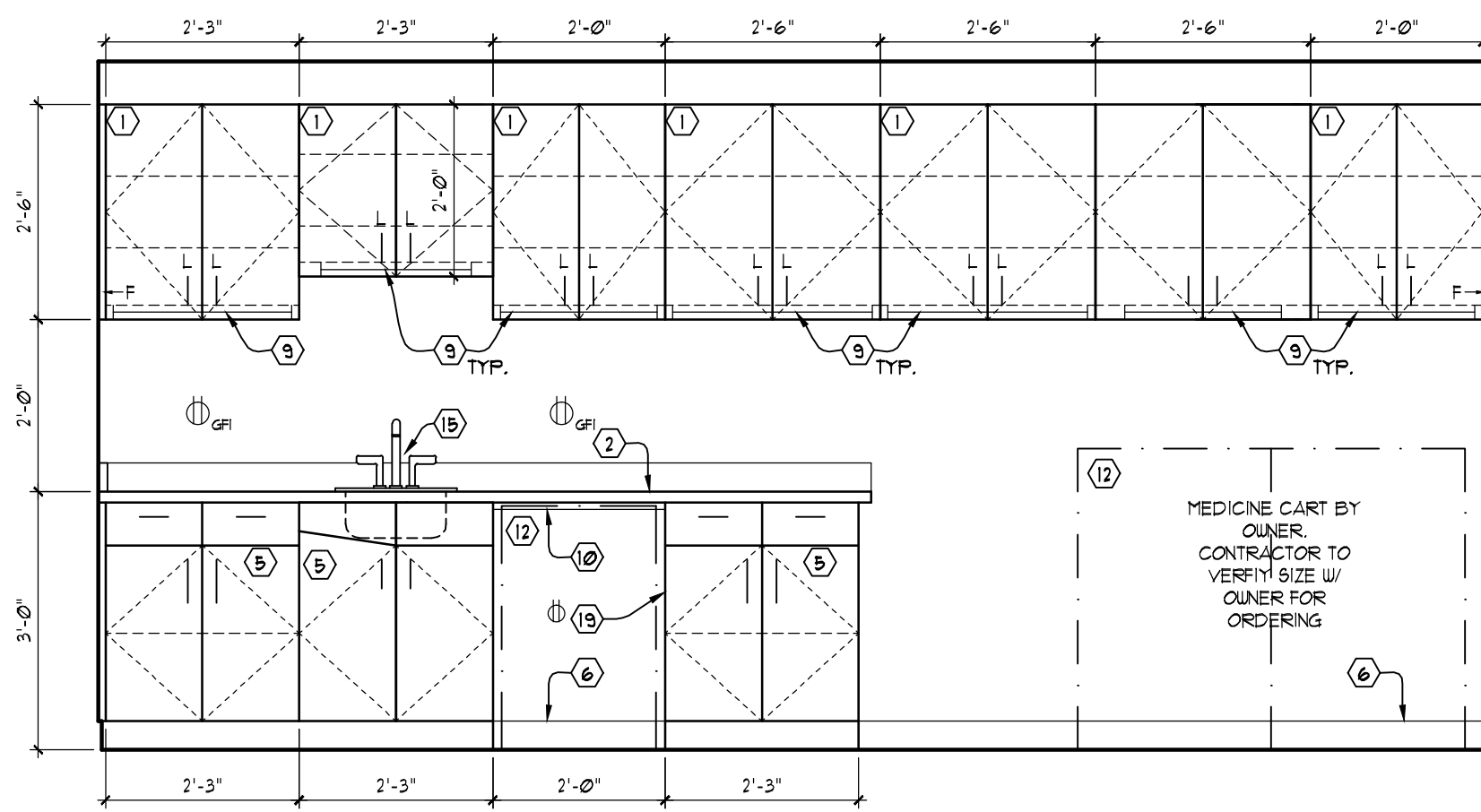

PROJECT NO. 14-003

DATE: 9.24.2015

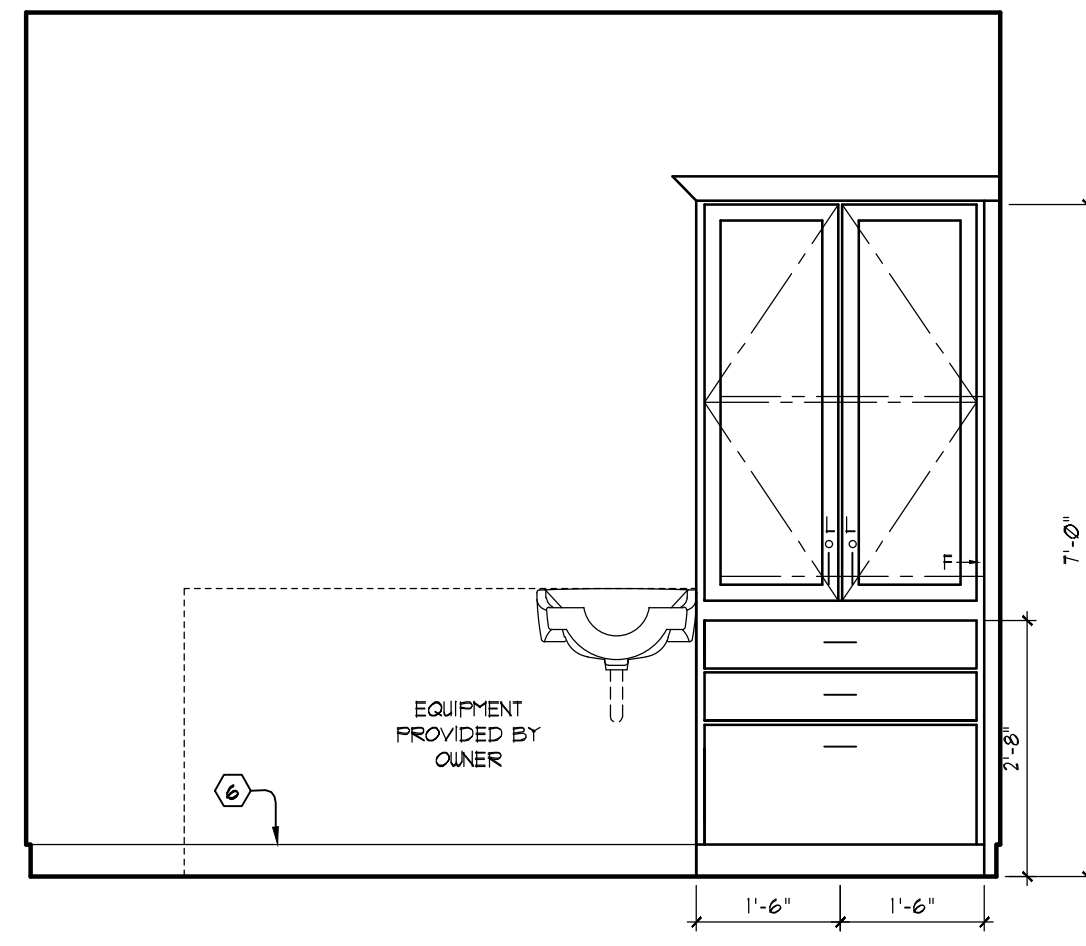
SHEET NAME: INTERIOR ELEVATIONS & COMMONS  
SHEET NO:

**A7.6**  
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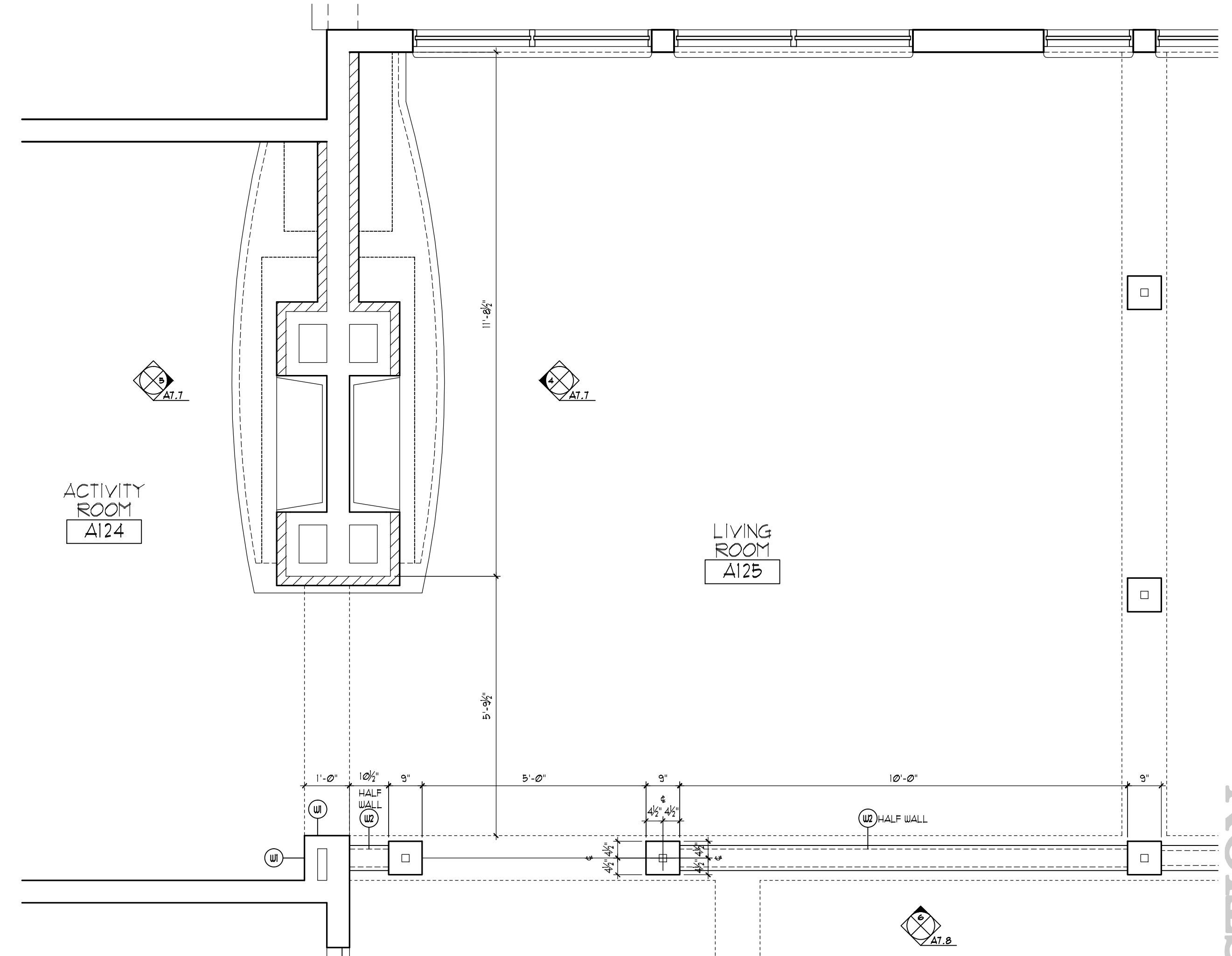




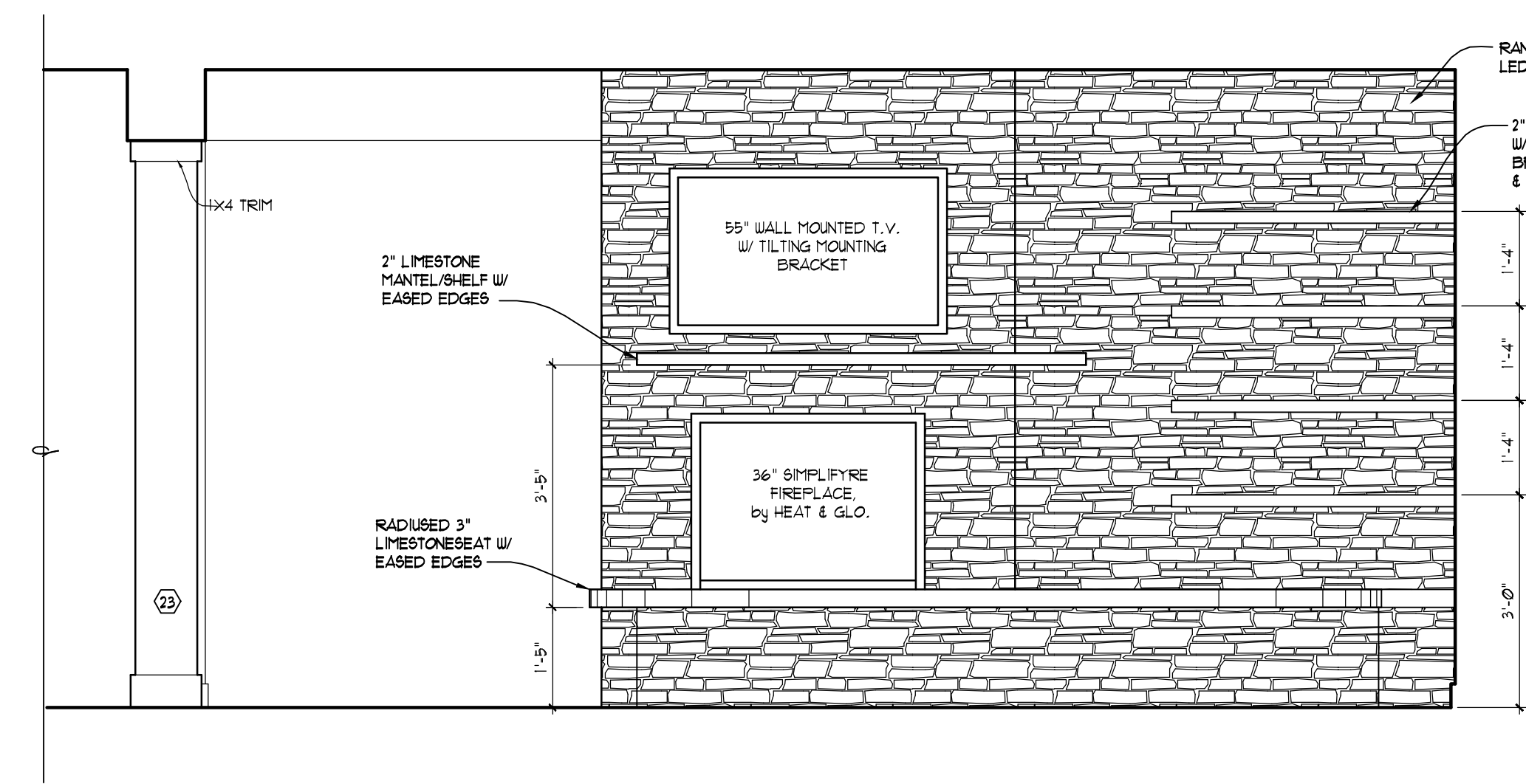
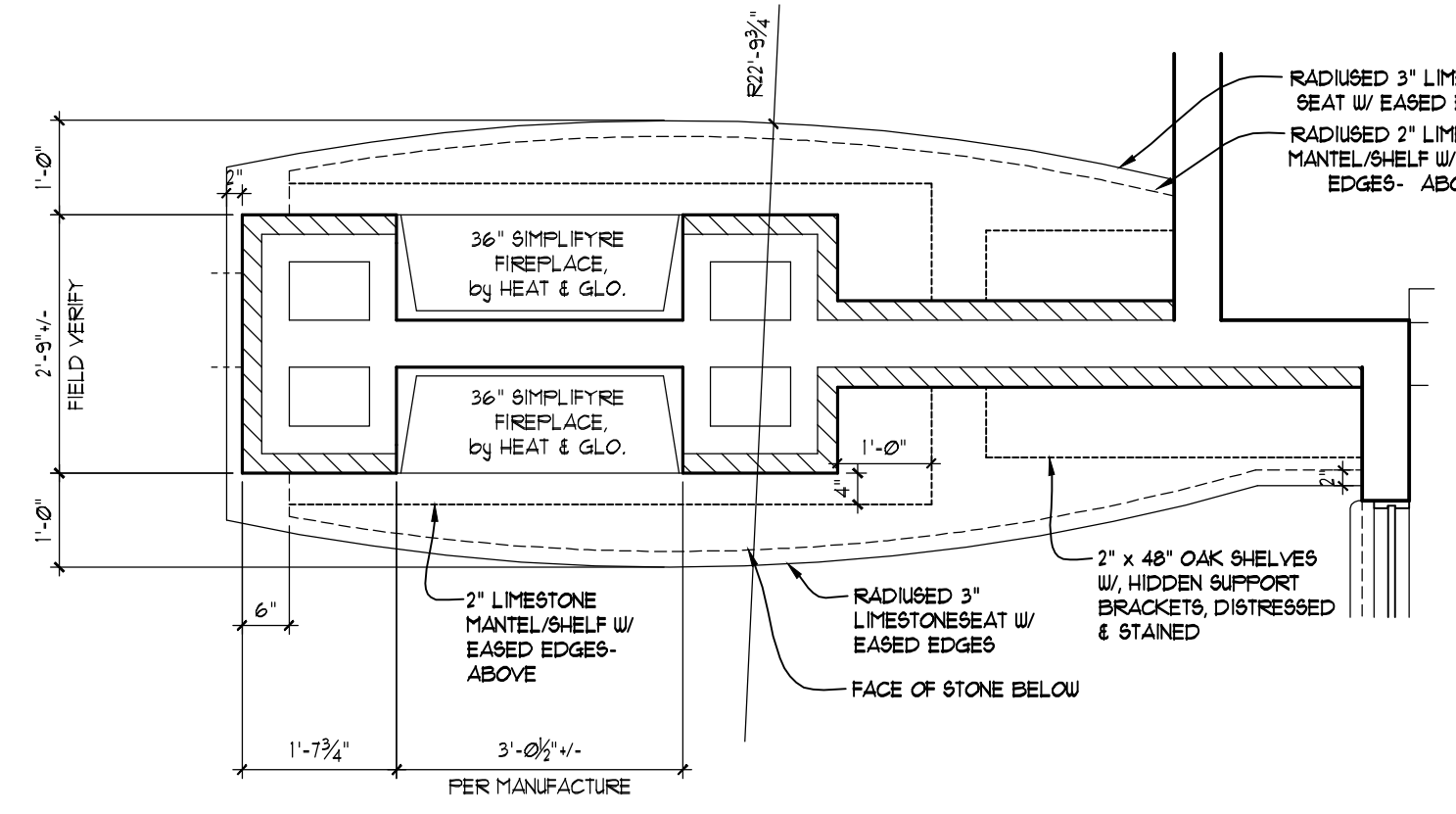
**1 ELEVATION - MED. ROOM A120**  
 24" DEEP LOWER CABINETS  
 25" DEEP COUNTERTOP  
 15" DEEP WALL CABINETS  
 SCALE: 1/2" = 1'-0"



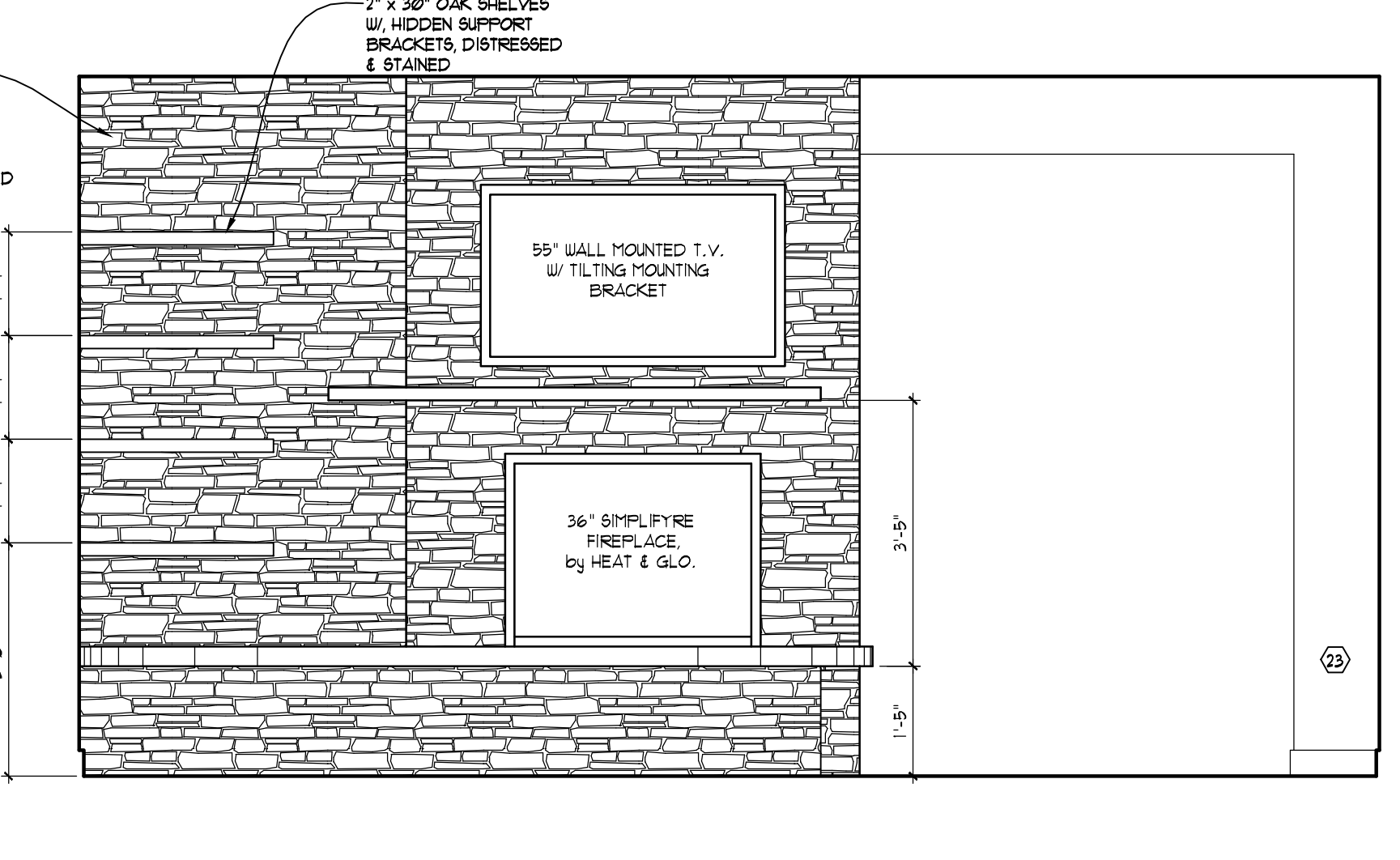
**2 ELEVATION - SALON A123**  
 24" DEEP LOWER CABINETS  
 25" DEEP COUNTERTOP  
 15" DEEP WALL CABINETS  
 SCALE: 1/2" = 1'-0"



**3 FLOOR PLAN: ACTIVITY ROOM A124 & LIVING ROOM A125**  
 WALL TYPES - SEE SHEET A5.7



**4 ELEVATION - LIVING ROOM A125**  
 SCALE: 1/2" = 1'-0"

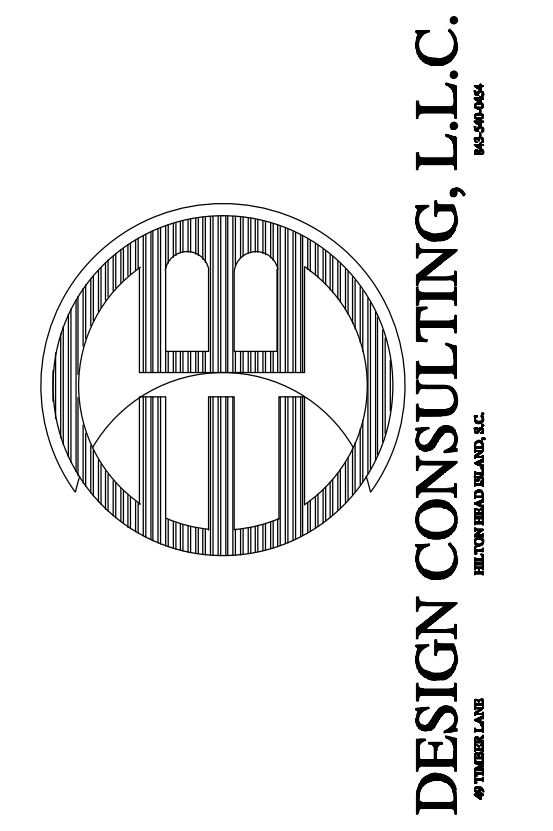


**5 ELEVATION - LIVING ROOM A125**  
 SCALE: 1/2" = 1'-0"

**NOTES ON FLOOR PLAN DIMENSIONS:**  
 1. EXTERIOR DIMENSIONS ARE FROM FACE OF FOUNDATION WALL TO FACE OF FOUNDATION WALL (EXCEPT IF NOTED OTHERWISE).  
 2. ALL INTERIOR DIMENSIONS ARE FROM FACE OF FOUNDATION TO STUD FACE AND STUD FACE-TO-STUD FACE (EXCEPT IF NOTED OTHERWISE). RESIDENT UNIT SHARED WALLS/PARTY WALLS ARE DIMENSION TO CENTERLINE OF THE WALL, WHERE INDICATED.  
 3. ALL WINDOW LOCATIONS ARE DIMENSIONED TO CENTER OF WINDOW UNIT IN WOOD FRAMED WALLS (UNLESS NOTED OTHERWISE).  
 CL = CENTERLINE  
 +/- FOR REFERENCE ONLY

**GENERAL NOTES:**  
 1. ALL LOCKS IN CABINETS TO BE KEYPED THE SAME.  
 2. ALL FILE DRAWERS TO BE LETTER SIZED UNLESS NOTED OTHERWISE (VERIFY).  
 3. ALL FILE DRAWERS TO HAVE METAL ANGLES MOUNTED TO TOP OF DRAWER SIDES FOR HANGING FILES.  
 4. ALL OPEN SHELVING TO BE ADJUSTABLE.  
 5. AT LOCATIONS WHERE 30" DEEP COUNTERTOPS ARE NOTED: BASE CABINETS TO BE 24" DEEP WITH FILLER PANELS OR SIDE EXTENSIONS AT OPEN ENDS.  
 6. ALL CABINETRY TO BE PRE-MANUFACTURED, STANDARD SIZES, DIAMOND CABINETRY (STANDARD CONSTRUCTION) OR APPROVED SUBSTITUTION. WOOD (MAPLE) IN RESIDENT AREAS; LAMINATE IN SERVICE AREAS. EXCEPTION WOULD BE THE 'BAR'.  
 7. OWNER PROVIDED CONTRACTOR INSTALLED, SURFACE MOUNTED SOAP DISPENSER. MOUNTING HEIGHT TO BE ADA COMPLIANT.  
 8. HARDWARE UNDER CABINET LIGHT W/ SWITCH ON WALL.  
 9. CONTINUOUS WOOD CLEAT PAINTED TO MATCH ADJACENT PARTITION.  
 10. PROVIDE 2 1/4" PLASTIC GROMMET IN PLASTIC LAMINATE COUNTERTOP. VERIFY EXACT LOCATION WITH TENANT / OWNER.  
 11. TENANT PROVIDED EQUIPMENT / FURNITURE.  
 12. 1"x1"x1/8" STEEL TUBE COUNTERTOP SUPPORT CONTINUOUSLY WELDED TO STRUCTURAL STEEL STUD. EASE EXPOSED EDGES OF STEEL.  
 13. BUILDING STANDARD 4'-0" HIGH 1/2" CORNER GUARD TO MATCH EXISTING IN COLOR AND STYLE.  
 14. SINK W/ ADA FAUCET - SEE PLUMBING DRAWINGS.  
 15. 2" RADIUS CORNER TYPICAL.  
 16. GAMBAS METAL WORKSURFACE SUPPORT BRACKET 18"x24" GAMBAS CO. (P# 717.548.3421 / 800.866.1611) P# 717.548.4276)  
 17. GAMBAS METAL WORKSURFACE SUPPORT BRACKET 24"x24" GAMBAS CO. (P# 717.548.3421 / 800.866.1611) P# 717.548.4276)  
 18. END PANEL TO MATCH CASEWORK.  
 19. PROVIDE FABRIC WRAPPED 5/8" THICK HOMOSOTE TACK-BOARD. MOUNT WITH CONCEALED MECHANICAL FASTENERS.  
 20. WOOD GRAIN PANELS WITH 1" REVEALS. SEE INTERIORS.  
 21. 8" DIA. PAINTED METAL DECORATIVE ROUND COUNTER SUPPORT.  
 22. DECORATIVE COLUMN CLAD IN WOOD 1X OAK MATERIAL W/ MITRED CORNERS, 1" X 6" WOOD BASE, 1" X 4" CAPITAL, STAINED AND DISTRESSED TO MATCH FLOORING. SEE INTERIORS.  
 23. NOT USED.  
 24. CUSTOM CABINETS TO MATCH MATERIAL, STYLE, & FINISH OF PRE-MANUFACTURED CABINETS.  
 25. NOT USED.  
 26. CROWN MOULDING TO MATCH MATERIAL, STYLE, & FINISH OF PRE-MANUFACTURED CABINETS.  
 27. DECORATIVE WOOD BRACKET.  
 28. 18"x30" WARMING TRAY.  
 29. 1/2" TEMPERED GLASS SHELVES - TYPICAL.  
 30. BREEZE GUARD.  
 31. GARBAGE DISPOSAL.  
 32. TRU-BRO HAND LAY INSULATION KIT AT ALL EXPOSED PIPING.  
 33. SOAP DISPENSER.  
 34. SURFACE MOUNTED PAPER TOWEL DISPENSER.

- ELEVATION CODED NOTES:**
- (1) WALL CABINETS: (DIAMOND CABINETRY OR APPROVED SUBSTITUTION).
  - (2) COUNTERTOP WITH INTEGRAL 4" BACK & SIDE SPLASH SEE INTERIORS FOR MATERIAL AND FINISH.
  - (3) COUNTERTOP SEE INTERIORS FOR MATERIAL AND FINISH.
  - (4) TRANSACTION COUNTER SEE INTERIORS FOR MATERIAL AND FINISH.
  - (5) BASE CABINETS: (DIAMOND CABINETRY OR APPROVED EQUAL) - 24" DEEP.
  - (6) RESILIENT ROOM BASE - SEE FINISH SCHEDULE
  - (7) OWNER PROVIDED CONTRACTOR INSTALLED, SURFACE MOUNTED SOAP DISPENSER. MOUNTING HEIGHT TO BE ADA COMPLIANT.
  - (8) HARDWARE UNDER CABINET LIGHT W/ SWITCH ON WALL.
  - (9) CONTINUOUS WOOD CLEAT PAINTED TO MATCH ADJACENT PARTITION.
  - (10) PROVIDE 2 1/4" PLASTIC GROMMET IN PLASTIC LAMINATE COUNTERTOP. VERIFY EXACT LOCATION WITH TENANT / OWNER.
  - (11) TENANT PROVIDED EQUIPMENT / FURNITURE
  - (12) 1"x1"x1/8" STEEL TUBE COUNTERTOP SUPPORT CONTINUOUSLY WELDED TO STRUCTURAL STEEL STUD. EASE EXPOSED EDGES OF STEEL.
  - (13) BUILDING STANDARD 4'-0" HIGH 1/2" CORNER GUARD TO MATCH EXISTING IN COLOR AND STYLE
  - (14) SINK W/ ADA FAUCET - SEE PLUMBING DRAWINGS.
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**WATERLOO RIVER WALK ASSISTED LIVING**  
 333 W. MADISON ST., WATERLOO, WI

REVISION:  
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PROJECT NO. **14-003**

DATE: **9.24.2015**

SHEET NAME:  
**INTERIOR ELEVATIONS & COMMONS**  
 SHEET NO:

**A7.7**  
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