



136 North Monroe Street
Waterloo, Wisconsin 53594-1198

NOTICE OF A CITY OF WATERLOO PLAN COMMISSION MEETING

Pursuant to Section 19.84 Wisconsin Statutes, notice is hereby given to the public and the news media, the following meeting will be held to consider the following:

MEETING: PLAN COMMISSION
DATE: TUESDAY, December 28, 2021 **TIME: 6:00 p.m.**
LOCATION: 136 N. MONROE STREET, MUNICIPAL BUILDING COUNCIL CHAMBERS

Join Zoom Meeting: <https://us02web.zoom.us/j/85166624614?pwd=SzFVRjl0dkdwTTBiUVZjdjd3NytNdz09>
Dial-in By Phone: +1 312 626 6799
Meeting ID: 851 6662 4614 Passcode: 760165

PUBLIC HEARING – Conditional Use Application To Allow For The Installation Of Communication Tower Accessory Equipment, T-Mobil/CO SMJ International, 760 Clarkson Road

- 1. Call To Order
- 2. Public Hearing
- 3. Adjourn Public Hearing

PLAN COMMISSION REGULARLY SCHEDULED MEETING

- 1. CALL TO ORDER AND ROLL CALL
- 2. APPROVAL OF MEETING AND PUBLIC HEARING MINUTES: October 26, 2021
- 3. CITIZEN INPUT
- 4. COMPLIANCE & ENFORCEMENT REPORT
- 5. UNFINISHED BUSINESS
 - a. Plan Commission Consideration And Report On Resolution #2021-38 Authorizing The Sale And Transfer Of Land Consisting Of The Eastern Portion Of Parcel 290-0813-0533-040 Located Between 136 North Monroe Street And 124 North Monroe Street From The City Of Waterloo To Mitchell Sillman, Before Council Final Action As Recommended By The City Attorney
- 6. NEW BUSINESS
 - a. Conditional Use Application To Allow For The Installation Of Accessory Equipment (back-up generator), T-Mobil/CO SMJ International, 760 Clarkson Road [[§385-29\(4\): Wireless communications towers and antennas](#)]
- 7. FUTURE AGENDA ITEMS & ANNOUNCEMENTS
 - a. 692 West Madison Street, Todd Nelson 12/21/2021 update
 - b. Initiating GIS Mapping, Zoning Maps & Planning Map Updates
 - c. Review Of Chapter 385 (Zoning) Of The Municipal Code

8. ADJOURNMENT

Mo Hansen, Clerk/Treasurer

Members: Leisses, Quimby, Petts, Crosby, Reynolds, Lannoy & Sorenson Posted, Distributed & Emailed: 12/21/2021

PLEASE NOTE: It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above meeting(s) to gather information. No action will be taken by any governmental body other than that specifically noticed. Also, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request such services please contact the clerk's office at the above location.



**PUBLIC HEARING CORRECTION
START TIME UPDATED FROM
7 PM TO 6 PM**

This relates to a request to install a backup generator at an existing communication tower, 760 Clarkson Road

136 North Monroe Street
Waterloo, WI 53594
Phone: (920) 478-3025
Fax: (920) 478-2021
www.waterloowi.us

**NOTICE OF PUBLIC HEARING FOR CONDITIONAL USE PERMIT UNDER PROVISIONS
OF CHAPTER §385-29(4) OF THE ZONING CODE OF THE CITY OF WATERLOO,
JEFFERSON COUNTY, WISCONSIN**

Please take notice that the Plan Commission of the City of Waterloo, Jefferson County, Wisconsin, acting under provisions of Chapter §385-29(4) of the Zoning Code of the City of Waterloo, shall hold a public hearing on the matter of a conditional use application received from T-Mobile/CO SMJ International regarding property at 760 Clarkson Road Waterloo, WI 53594.


The applicant is requesting a conditional use permit to allow for the installation of a back-up generator. A conditional use permit is required for the installation of communication tower accessory equipment.

The property is described as follows:

- Parcel 290-0813-0612-000 NW ¼ NE ¼ EX CSM 4598-23-226
- 760 Clarkson Rd Waterloo

Be further notified that the Plan Commission will hear all persons interested or their agents or attorneys concerning the conditional use permit application at a public hearing. The public hearing will be held at **6:00 p.m.** on Tuesday, December 28, 2021 in the Council Chamber of the Municipal Building, 136 N. Monroe Street, Waterloo.

After the public hearing, the Plan Commission shall recommend approval, denial, or conditional approval of the conditional use permit to the Common Council. The City Council will act on the Plan Commission's recommendation at its regular scheduled meeting on Thursday, January 6, 2022.


Mo Hansen
City Clerk/Treasurer

Pub: The Courier: December 16, 2021

WATERLOO PLAN COMMISSION – Minutes for October 26, 2021

[a digital meeting recording also serves as the official record]

PUBLIC HEARING (1) – Conditional Use Application To Allow For An Additional Garage On The Subject Property Exceeding 144 Square Feet, 532 Crestview Drive, Applicant: William & Sarah LeMere

1. Call To Order. Mayor Quimby called the meeting to order at 7:00PM. Commissioners attending: Mayor Quimby, Leisses, Crosby, Sorenson, Lannoy and Petts. Absent: Reynolds. Other attending: Jeff Linkenheld; Todd Nelson; Casey Behrend; Aaron Motl; William & Sarah LeMere.
2. Public Hearing: Project dimensions were reviewed. No one spoke in opposition.
3. Adjourn Public Hearing. Mayor Quimby adjourned the meeting a 7:06PM.

PUBLIC HEARING (2) – Conditional Use Application To Allow For An Additional Garage On The Subject Property Exceeding 144 Square Feet, 585 S Monroe, Applicant: Aaron Motl

1. Call To Order. Mayor Quimby called the meeting to order at 7:07PM. Commissioners attending: Mayor Quimby, Leisses, Crosby, Sorenson, Lannoy and Petts. Absent: Reynolds. Other attending: Jeff Linkenheld; Todd Nelson; Casey Behrend; Aaron Motl; William & Sarah LeMere.
2. Public Hearing: Project dimensions were reviewed. Behrend said his question was answered by Motl prior to the public hearing. Project setbacks and dimension were noted. No one spoke in opposition.
3. Adjourn Public Hearing. Mayor Quimby adjourned the meeting a 7:08PM.

PLAN COMMISSION REGULARLY SCHEDULED MEETING

1. CALL TO ORDER AND ROLL CALL. Mayor Quimby called the meeting to order at 7:09PM. Commissioners attending: Mayor Quimby, Leisses, Crosby, Sorenson, Lannoy and Petts. Absent: Reynolds. Other attending: Jeff Linkenheld; Todd Nelson; Casey Behrend; Aaron Motl; William & Sarah LeMere.
2. APPROVAL OF MEETING AND PUBLIC HEARING MINUTES: September 28, 2021. MOTION: [Crosby/Petts] to approve the minutes as presented. VOICE VOTE: Motion carried.
3. CITIZEN INPUT. None.
4. COMPLIANCE & ENFORCEMENT REPORT. Report noted. No action.
5. UNFINISHED BUSINESS
 - a. Street Lighting At Intersection Of State Highways 19 & 89 (4-corners) & Adjacent Park Lighting. MOTION: [Sorenson/Petts] to refer the matter to the Public Works & Property Committee. VOICE VOTE: Motion carried.
 - b. Plan Commission Consideration And Report On Resolution #2021-38 Authorizing The Sale And Transfer Of Land Consisting Of The Eastern Portion Of Parcel 290-0813-0533-040 Located Between 136 North Monroe Street And 124 North Monroe Street From The City Of Waterloo To Milo H Sillman Trust Or Future Owners Of 124 North Monroe Street, Before Council Final Action, Per See Scanlon v. City of Menasha, 16 Wis.2d 437, 114 N.W.2d 791 (1962) Wisconsin Supreme Court As Recommended By The City Attorney. DISCUSSION: Leisses said a Kunkel Engineering Group surveyor had been on site with more research to complete. It was noted that property owner Mitchell Sillman was not in a hurry to complete the task. No action taken.
6. NEW BUSINESS
 - a. Plan Commission Concept Review And Input For Developer – Contemplated Residential Development: 692 West Madison Street, 692 West Madison Street LLC (Todd Nelson). DISCUSSION: Nelson described a contemplated project of two four-unit dwellings, each two stories, on the site. He said contamination was located after core samples were taken. He said the developer was the same as the builder of homes behind the Marshall Dollar General. Commissioners spoke favorably of the proposal. No additional action taken.
 - b. Conditional Use Application To Allow For An Additional Garage On The Subject Property Exceeding 144 Square Feet, 532 Crestview Drive, Applicant: William & Sarah LeMere. MOTION: [Crosby/Petts] to recommend Council approval as submitted. VOICE VOTE: Motion carried.
 - c. Conditional Use Application To Allow For An Additional Garage On The Subject Property Exceeding 144 Square Feet, 585 S Monroe Crestview Drive, Applicant: Aaron Motl. MOTION: [Crosby/Lannoy] to recommend Council approval as submitted. VOICE VOTE: Motion carried.
 - d. DeYoung Farm Plat # 2 Final Approval Recommendation To City Council. DISCUSSION: In reply to a Sorenson

question, Linkenheld confirmed that electrical easements were addressed. Lannoy said dedication of park space until the next phase should be moved up in time. Sorenson agreed saying underground work would not be done or affect the deeding of the parkland this phase. Linkenheld indicated it would not be major change and would seek approval from his client to deed the land in upcoming phase and have such reflected on the plat. Linkenheld said the Wisconsin Department of Administration was commenting currently on the Plat, and it would be presented for signatures when fully ready. MOTION: [Lannoy/Crosby] to recommend Council approval conditioned upon the parkland referenced in the discussion being deeded at this time. VOICE VOTE: Motion carried.

7. FUTURE AGENDA ITEMS & ANNOUNCEMENTS. Both below noted.
 - a. Comprehensive Plan Implementation, Zoning Maps & Planning Map Updates
 - b. Review Of Municipal Code

8. ADJOURNMENT. MOTION: [Petts/Crosby] To adjourn. Approximate time: 8:13 p.m.



Mo Hansen, Clerk/Treasurer

Report To The Plan Commission
Open Code Enforcement Challenges

Clerk/Treasurer
1:29 PM 12/21/2021

Category	Open Date	Closed Date	Address	Responsible Party	Municipal Lead	Desired Outcome	Link To Ord.	Notes
OPEN Neighbor complaints	Jan-15		362 E. Madison St.	Jeremy Uttech	SAFEBUILT	Property owner maintaining clean property; no dangerous work garage	§219-5 Safe and sanitary maintenance of property	Pending action (C.B. verbal) Continue to watch. A residential property formerly zoned commercial; owner has a history of storing scrap on site and selling items on lawn. Repeated combustion incidents in garage.
OPEN Code compliance	Jan-16		129 N Monroe St	Keri Sellnow	SAFEBUILT	Complete 1st floor build-out to code per conditional use	§140-19 Violations and penalties	20/25/21 remains in non-compliance. Owner in violation C.B. 2021 QTR 1 communication. Owner granted conditional use to reside on a portion of 1st floor; has not complied with building code with shared commercial & residential floor
OPEN Code compliance	Jan-16		213 West Madison St	Bill Hart	TBD	Use in compliance with zoning code	§385-12 C-1 General Commercial District	J.Q. to address. Use changed from printing to warehousing, no conditional use granted therefore an illegal use
OPEN Neighbor complaints	Jun-17		135 Jefferson St	Corey Besl	DPW	Appropriate use of sump pump not creating potential pedestrian slip hazard	§283-8 Clear waters	Scheduled for 2022 road reconstruction. Remedy linked to when road is redone.. Discharge of sump pump to curb line doesn't flow to storm sewer creating pedestrian walk hazard near elementary school
OPEN Neighbor complaints	Jun-17		136 Jefferson Street	Jon & Tara Driver	DPW	Appropriate use of sump pump not creating potential pedestrian slip hazard	§283-8 Clear waters	Scheduled for 2022 road reconstruction. Remedy linked to when road is redone. Discharge of sump pump to curb line doesn't flow to storm sewer creating pedestrian walk hazard near elementary school
OPEN Property Maintenance	Jun-17		275 S. Jackson St	Tired Iron Buyer LLC	SAFEBUILT	Property owner investment in warehouse repairs after sale of property from City to property owners and no blight	§219-5 Safe and sanitary maintenance of property	10/20/21 inspection & verified violations, 10/21/21 sent letter certified to owner. Waiting on cert mail receipt to start countdown for reinspection for compliance

Report To The Plan Commission
Open Code Enforcement Challenges

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OPEN Property maintenance	Sep-19		1085 Jaystone Terr	KSA Waterloo LLC; Ben Waterloo LLCLS DR	SAFEBUILT	Resident complaint: entry threshold prevents wheel chairs and dryer vent may be fire hazarded; 9/3 Routed to Chris B to inspect	§ 219-5 Safe and sanitary maintenance of property	C.B. has made contact. No reply from owner.
OPEN Property Maintenance	May-20		208 PORTLAND RD	GORDON D YELK & DEBRA A YELK	SAFEBUILT	Remedy collapses garage. No blighting conditions	§ 219-5 Safe and sanitary maintenance of property	10/25/21 Reinspected and confirmed violations, 10/1 sent certified letter; 10/21 cert. letter received, will reinspect in 30 days
OPEN Property Maintenance	Jun-20		261 S MONROE ST	ANDREW V GRUNEWALD	SAFEBUILT	No blighting conditions	§ 219-5 Safe and sanitary maintenance of property	10/20/21 reinspected & verified violations, 10/21/21 letter sent certified to owner. Waiting on cert. mail receipt to start the 30 days after receipt
OPEN Property Maintenance	Sep-21		590 Knowlton St	Property owner	SAFEBUILT	(1) Structural damage to front rear of building needs correcting; (2) Garbage around dumpsters requires cleanup	219-5(B)(3) and 219-5B(7)(b) Safe & Sanitary Maintenance of Property	Notice sent to Waterloo Apartment LLC 9/30 with CC to PD, CT & Donnie Rook with 30 days notice
OPEN Property Maintenance	Oct-21		408 S Jackson St	Property owner	SAFEBUILT		?	Unspecified non-compliance. Item on Building Inspectors list for fall follow-up
OPEN Property Maintenance	Oct-21		435 W Polk St	Property owner	SAFEBUILT		?	Unspecified non-compliance. Item on Building Inspectors list for fall follow-up
OPEN Property Maintenance	Sep-21		590 Knowlton St #204	Waterloo Apartments LLC	SAFEBUILT	Properly maintained exterior property areas, foundation, floor & roof	Muni Code 219--5b(3) and 219-5b(7)(b)	CB letter to property owner 9/30/2021
OPEN Property Maintenance	Oct-21		237 Boorman St	Property owner	SAFEBUILT	Removal of blight	Storage of unlicensed recreational vehicle and weed ordinance	Unspecified non-compliance. Item on Building Inspectors list for fall follow-up
OPEN Property Maintenance	Dec-21		469 East Madison Street	Property owner	SAFEBUILT	Removal of blight		Blight complaint from neighbor routed to Police Department and Building Inspector.



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RESOLUTION #2021-38

Authorizing The Sale And Transfer Of Land Consisting Of The Eastern Portion Of Parcel 290-0813-0533-040 Located Between 136 North Monroe Street And 124 North Monroe Street From The City Of Waterloo To Milo H Sillman Trust Or Future Owners Of 124 North Monroe Street

The Common Council of the City of Waterloo, Wisconsin does hereby resolve as follows:

Whereas, the Public Works & Property Committee at its September 2, 2021 meeting recommended City Council approval of the sale of the eastern portion of parcel 290-0813-0533-040 as shown on the attached aerial photo, and;

Whereas, the Mayor is recommending an acquisition cost of \$0.00 with the Buyer responsible for all costs associated with dividing the lot via an approved certified survey map process.

Be It Resolved that the Waterloo City Council, does hereby concur with the recommendations stated above and authorizes the sale of the eastern portion of parcel 290-0813-0533-040 as shown and the Mayor's recommended financial arrangement.

PASSED AND ADOPTED this ____ day of _____ 2021.

City of Waterloo

Signed: _____
Jenifer Quimby, Mayor

Attest:

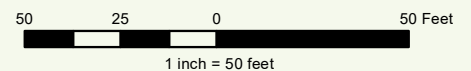
Mo Hansen, Clerk/Treasurer

SPONSOR(S) – Mayor and Public Works & Property Committee

Jefferson County Land Information



- | | | | | | |
|---------------------|-----------------------|--|--------------------|---|---------------|
| | Description | | Rail Right of Ways | | Tax Parcels |
| | Municipal Boundaries | | Road Right of Ways | Jefferson_County_Wide_Mosaic.sid | |
| Parcel Lines | | | Section Lines | | Red: Band_1 |
| | Property Boundary | | Surface Water | | Green: Band_2 |
| | Old Lot/Meander Lines | | Map Hooks | | Blue: Band_3 |





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APPLICATION FOR CONDITIONAL USE PERMIT
(Review and Action by City Plan Commission/Common Council)

Number: _____ Date Filed: _____ Fee Paid: _____

Location of Property: 760 CLARKSON ROAD WATERLOO, WI 53594

Applicant: T-Mobile / CO SMJ International Email dknapek@smj-llc.com

Address: 49030 Pontiac Trail Suite 100 Wixom, MI 48393 Telephone: 952-607-1439

Owner of Property: American Tower Corporation

Address: 10 Presidential Way Woburn, MA 01801 Telephone: 952-607-1439

Contractor: Trinity Technologies

Address: 4605 Pflaum Rd, Madison, WI 53718 Telephone: 608-221-2333

Architect or Professional Engineer: Esha K. Modi

Address: 3500 REGENCY PARKWAY SUITE 100 CARY, NC 27518 Telephone: (919) 468-0112

Legal Description of Property: Communication Tower

Land Parcel Size: _____ Present Use: _____ Zoning District: _____

Type of Existing Structure (if any): Communication Tower

Proposed Use of the Structure or Site: Communication Tower Number of Employees: _____

Terms of Municipal Code

Conditional Use Requested

Specify Reason(s) for Application: (for example, insufficient lot area, setback, etc.)

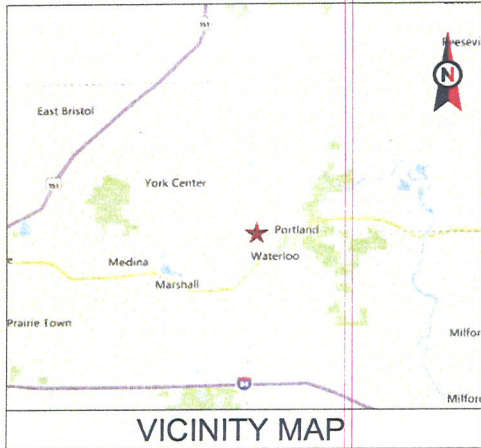
Installation of back-up generator (verbal, from Knapek 12/6) -mh

ATTACH THE FOLLOWING:

Site Plan showing the area involved, its location, dimensions, elevations, drainage, parking, etc., and location of adjacent structures within 200 feet.

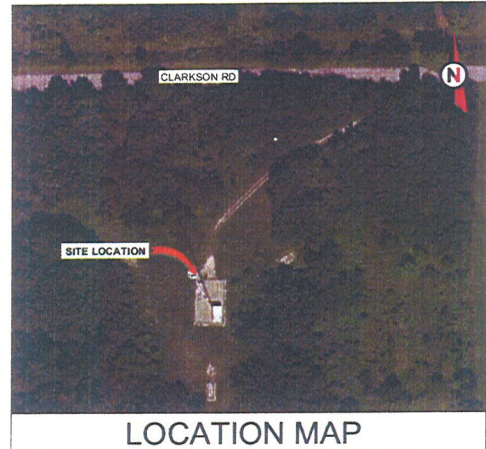
Date: 11/22 20 21

Drew Knapek
Signature of Applicant



AMERICAN TOWER®

ATC SITE NAME: WATERLOO WI 2
 SITE NUMBER: 310821
 SITE ADDRESS: 760 CLARKSON ROAD
 WATERLOO, WI 53594



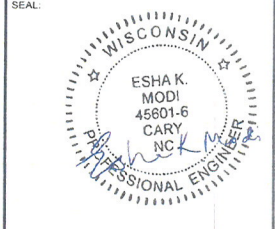
**SHARED GENERATOR PROGRAM
 ANCHOR TENANT**

AMERICAN TOWER®
 ATC TOWER SERVICES
 3500 REGENCY PARKWAY
 SUITE 100
 CARY, NC 27518
 PHONE: (919) 468-0112
 COA: 4069-11

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OF SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIC CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER THE ARCHITECT OR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTORS MUST VERIFY ALL DIMENSIONS AND ADHERE AMERICAN TOWER'S ANY DISCREPANCIES. ANY HIGH ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV	DESCRIPTION	BY	DATE
01	FOR CONSTRUCTION	PL	11/18/21

ATC SITE NUMBER
310821
 ATC SITE NAME
WATERLOO WI 2
 SITE ADDRESS
 760 CLARKSON ROAD
 WATERLOO, WI 53594



Authorized by "EOR"
 19 Nov 2021 04:11:00

DRAWN BY: MF
 DATE DRAWN: 11/18/21
 ATC JOB NO: 13731359_M4

TITLE SHEET
 SHEET NUMBER: **G-001**
 REVISION: **0**

COMPLIANCE CODE	PROJECT SUMMARY	PROJECT DESCRIPTION	SHEET INDEX				
ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNMENT AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. 1. INTERNATIONAL BUILDING CODE (IBC) 2. NATIONAL ELECTRIC CODE (NEC) 3. LOCAL BUILDING CODE 4. CITY/COUNTY ORDINANCES	<u>SITE ADDRESS:</u> 760 CLARKSON ROAD WATERLOO, WI 53594 COUNTY: JEFFERSON	THE PROPOSED PROJECT INSTALLS AN OPTIONAL STANDBY GENERATOR SYSTEM, AUTOMATIC TRANSFER SWITCH, GENERATOR AUXILIARY POWER DISTRIBUTION, AND REMOTE MONITORING COMMUNICATIONS CIRCUITRY FOR A COMMUNICATION TOWER TENANT.	SHEET NO	DESCRIPTION	REV.	DATE	BY:
	<u>GEOGRAPHIC COORDINATES:</u> LATITUDE: 43.19690372 LONGITUDE: -89.00574576 GROUND ELEVATION: 961' AMSL		G-001	TITLE SHEET	0	11/18/21	PL
	<u>ZONING INFORMATION:</u> JURISDICTION: JEFFERSON COUNTY PARCEL NUMBER: 290-0813-0622-000		C-101	SITE PLAN	0	11/18/21	PL
	<u>PROJECT TEAM</u> <u>ATC REGIONAL NETWORK DEVELOPMENT PROJECT MANAGER:</u> WILLIAM MCELWAINE (412) 867-5637	<u>PROJECT NOTES</u> 1. THE FACILITY IS UNMANNED. 2. A TECHNICIAN WILL VISIT THE SITE APPROXIMATELY ONCE A MONTH FOR ROUTINE INSPECTION AND MAINTENANCE. 3. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT LAND DISTURBANCE OR EFFECT OF STORM WATER DRAINAGE. 4. NO SANITARY SEWER, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED. 5. HANDICAP ACCESS IS NOT REQUIRED. 6. THE PROJECT DEPICTED IN THESE PLANS QUALIFIES AS AN ELIGIBLE FACILITIES REQUEST ENTITLED TO EXPEDITED REVIEW UNDER 47 U.S.C. § 1455(A) AS A MODIFICATION OF AN EXISTING WIRELESS TOWER THAT INVOLVES THE COLLOCATION, REMOVAL, AND/OR REPLACEMENT OF TRANSMISSION EQUIPMENT THAT IS NOT A SUBSTANTIAL CHANGE UNDER CFR § 1.61000 (B)(7).	C-501	CONCRETE PAD DETAILS	0	11/18/21	PL
<u>UTILITY COMPANIES</u> POWER COMPANY: ADAMS COLUMBIA ELECTRIC PHONE: (800) 631-8629 TELEPHONE COMPANY: VERIZON PHONE: (800) 483-1000	<u>ATC NETWORK OPERATIONS CENTER:</u> (877) 518-6937	<u>PROJECT LOCATION DIRECTIONS</u> FROM MADISON TAKE I-94 TO EXIT 259 (ROUTE 89), DRIVE NORTH 9 MILES INTO DOWNTOWN WATERLOO. TAKE A LEFT ONTO HWY 19 TO 4 WAY STOP. TAKE RIGHT AT STOP SIGN AND GO NORTH ON MONROE FOR 1 MILE. TAKE LEFT ON CLARKSON GOING 3/4 MI WEST TO ACCESS ROAD LOCATED ON THE LEFT SIDE (SOUTH SIDE).	E-601	ELECTRICAL ONE-LINE AND WIRING DETAILS	0	11/18/21	PL
 Know what's below. Call before you dig.	<u>TOWER OWNER:</u> AMERICAN TOWER 10 PRESIDENTIAL WAY WOBURN, MA 01801 <u>PROPERTY OWNER:</u> DORIS WELHOEFER 760 CLARKSON ST WATERLOO, WI 53594 <u>ENGINEERED BY:</u> ATC TOWER SERVICES 3500 REGENCY PARKWAY SUITE 100 CARY, NC 27518		R-601	SUPPLEMENTAL			

GENERAL CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL CODES, INCLUDING ANSI/AIAA-222, AND COMPLY WITH ATC CONSTRUCTION SPECIFICATIONS
- CONTRACTOR SHALL CONTACT LOCAL 811 FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
- ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DRAINAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
- DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
- DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
- CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUNDS DRAINS, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK
- INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE ATC CM PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH REMEDIAL ACTION SHALL REQUIRE WRITTEN APPROVAL BY THE ATC CM PRIOR TO PROCEEDING.
- EACH CONTRACTOR SHALL COOPERATE WITH THE ATC CM, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
- CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE ATC CONSTRUCTION MANAGER.
- ALL CABLE/CONDUIT ENTRY/EXIT PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SILICONE SEALANT.
- WHERE EXISTING CONDITIONS DO NOT MATCH THOSE SHOWN IN THIS PLAN SET, CONTRACTOR SHALL NOTIFY THE ATC CONSTRUCTION MANAGER IMMEDIATELY.
- CONTRACTOR SHALL ENSURE ALL SUBCONTRACTORS ARE PROVIDED WITH A COMPLETE AND CURRENT SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
- CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH DAY.
- CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH LANDLORD AND TAKE PRECAUTIONS TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
- CONTRACTOR SHALL FURNISH ATC WITH A PDF MARKED UP AS-BUILT SET OF DRAWINGS UPON COMPLETION OF WORK.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH ATC CM TO DETERMINE WHAT, IF ANY, ITEMS WILL BE PROVIDED. ALL ITEMS NOT PROVIDED SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL INSTALL ALL ITEMS PROVIDED.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH ATC CONSTRUCTION MANAGER TO DETERMINE IF ANY PERMITS WILL BE OBTAINED BY ATC. ALL REQUIRED PERMITS NOT OBTAINED BY ATC MUST BE OBTAINED, AND PAID FOR, BY THE CONTRACTOR.
- CONTRACTOR SHALL INSTALL ALL SITE SIGNAGE IN ACCORDANCE WITH ATC SPECIFICATIONS AND REQUIREMENTS.
- CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO ATC FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO ATC SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- CONTRACTOR SHALL NOTIFY ATC CM A MINIMUM OF 48 HOURS IN ADVANCE OF POURING CONCRETE OR BACKFILL ANY UNDERGROUND UTILITIES, FOUNDATIONS OR SEALING ANY WALL, FLOOR OR ROOF PENETRATIONS FOR ENGINEERING REVIEW AND APPROVAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY INCLUDING COMPLIANCE WITH ALL APPLICABLE OSHA STANDARDS AND RECOMMENDATIONS AND SHALL PROVIDE ALL NECESSARY SAFETY DEVICES INCLUDING PPE AND PPM AND CONSTRUCTION DEVICES SUCH AS WELDING AND FIRE PREVENTION, TEMPORARY SHORING, SCAFFOLDING, TRENCH BOXES/SLOPING, BARRIERS, ETC.
- THE CONTRACTOR SHALL PROTECT AT HIS OWN EXPENSE, ALL EXISTING FACILITIES AND SUCH OF HIS NEW WORK LIABLE TO INJURY DURING THE CONSTRUCTION PERIOD. ANY DAMAGE CAUSED BY NEGLIGENCE ON THE PART OF THIS CONTRACTOR OR HIS REPRESENTATIVES, OR BY THE ELEMENTS DUE TO NEGLIGENCE ON THE PART OF THIS CONTRACTOR OR HIS

REPRESENTATIVES, EITHER TO THE EXISTING WORK, OR TO HIS WORK OR THE WORK OF ANY OTHER CONTRACTOR, SHALL BE REPAIRED AT HIS EXPENSE TO THE OWNER'S SATISFACTION

- ALL WORK SHALL BE INSTALLED IN A FIRST CLASS, NEAT AND WORKMANLIKE MANNER BY MECHANICS SKILLED IN THE TRADE INVOLVED. THE QUALITY OF WORKMANSHIP SHALL BE SUBJECT TO THE APPROVAL OF THE ATC CM. ANY WORK FOUND BY THE ATC CM TO BE OF INFERIOR QUALITY AND/OR WORKMANSHIP SHALL BE REPLACED AND/OR REWORKED AT CONTRACTOR EXPENSE UNTIL APPROVAL IS OBTAINED.
- IN ORDER TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE, ALL TYPES OF MATERIALS LISTED HEREINAFTER BY MANUFACTURER'S NAMES AND/OR MANUFACTURER'S CATALOG NUMBER SHALL BE PROVIDED BY THESE MANUFACTURERS AS SPECIFIED.

CONCRETE AND REINFORCING STEEL NOTES:

- DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF ALL APPLICABLE CODES INCLUDING ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 117 "SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS"; AND ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE."
- MIX DESIGN SHALL BE APPROVED BY ATC CM PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL BE NORMAL WEIGHT, 0% AIR ENTRAINED (+/- 1.5%) WITH A SLUMP RANGE OF 3-5" AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE NOTED.
- THE FOLLOWING MATERIALS SHALL BE USED:
 - PORTLAND CEMENT: ASTM C150, TYPE 2
 - REINFORCEMENT: ASTM A185, PLAIN STEEL WELDED WIRE FABRIC
 - REINFORCEMENT BARS: ASTM A615, GRADE 60, DEFORMED
 - NORMAL WEIGHT AGGREGATE: ASTM C33
 - WATER: ASTM C 94/C 94M
 - ADMIXTURES:
 - WATER-REDUCING AGENT: ASTM C 494/C 494M, TYPE A
 - AIR-ENTERING AGENT: ASTM C 260/C 260M
 - SUPERPLASTICIZER: ASTM C494, TYPE F OR TYPE G
 - RETARDING: ASTM C 494/C 494M, TYPE B
- MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE NO LESS THAN 3".
- A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE IN ACCORDANCE WITH ACI 301 SECTION 4.2.4, UNLESS NOTED OTHERWISE.
- INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL, OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ATC CM APPROVAL WHEN DRILLING HOLES IN CONCRETE.
- ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN "METHOD 1" OF ACI 301.
- DO NOT WELD OR TACK WELD REINFORCING STEEL.
- ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
- REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
- DO NOT ALLOW REINFORCEMENT, CONCRETE OR SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 3 DAYS AFTER PLACEMENT.
- FOR COLD-WEATHER(ACI 308) AND HOT-WEATHER(ACI 301M) CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS, MINIMUM.
- ALL CONCRETE SHALL HAVE A "SMOOTH FORM FINISH"
- UNLESS OTHERWISE NOTED:
 - A. ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615/A 615M/A-996, GRADE 60
 - B. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185
- SPlicing OF REINFORCEMENT IS PERMITTED ONLY AT LOCATIONS SHOWN IN THE CONTRACT DRAWINGS OR AS ACCEPTED BY THE ENGINEER. UNLESS OTHERWISE SHOWN OR NOTED REINFORCING STEEL SHALL BE SPliced TO DEVELOP ITS FULL TENSILE CAPACITY (CLASS A) IN ACCORDANCE WITH ACI 318
- REINFORCING BAR DEVELOPMENT LENGTHS, AS COMPUTED IN ACCORDANCE WITH ACI 318, FORM THE BASIS FOR BAR EMBEDMENT LENGTHS AND BAR SPliced LENGTHS SHOWN IN THE

DRAWINGS. APPLY APPROPRIATE MODIFICATION FACTORS FOR TOP STEEL, BAR SPACING, COVER AND THE LIKE

- DETAILING OF REINFORCING STEEL SHALL CONFORM TO "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315)
- ALL SLAB CONSTRUCTION SHALL BE CAST MONOLITHICALLY WITHOUT HORIZONTAL CONSTRUCTION JOINTS, UNLESS SHOWN IN THE CONTRACT DRAWINGS.
- LOCATION OF ALL CONSTRUCTION JOINTS ARE SUBJECT TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. CONFORMANCE WITH ACI 318, AND ACCEPTANCE OF THE ENGINEER DRAWINGS SHOWING LOCATION OF DETAILS OF THE PROPOSED CONSTRUCTION JOINTS SHALL BE SUBMITTED WITH REINFORCING STEEL PLACEMENT DRAWINGS.
- SPICES OF WWF, AT ALL SPliced EDGES, SHALL BE SUCH THAT THE OVERLAP MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET IS NOT LESS THAN THE SPACING OF THE CROSS WIRE PLUS 2 INCHES, NOR LESS THAN 6"
- BAR SUPPORTS SHALL BE ALL-GALVINIZED METAL WITH PLASTIC TIPS
- ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE TO PREVENT DISPLACEMENT BY CONSTRUCTION TRAFFIC OR CONCRETE. TIE WIRE SHALL BE OF SUFFICIENT STRENGTH FOR INTENDED PURPOSE, BUT NOT LESS THAN NO. 18 GAUGE.
- SLAB ON GROUND:
 - A. COMPACT SUBGRADE AND ENSURE THERE IS PLACE 6" GRAVEL BENEATH SLAB.
 - B. PROVIDE VAPOR BARRIER BENEATH SLAB ON GROUND.

STRUCTURAL STEEL NOTES:

- STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS"
- STRUCTURAL STEEL ROLLED SHAPES, PLATES AND BARS SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATIONS:
 - A. ASTM A-572, GRADE 50 - ALL W SHAPES, UNLESS NOTED OR A992 OTHERWISE
 - B. ASTM A-36 - ALL OTHER ROLLED SHAPES, PLATES AND BARS UNLESS NOTED OTHERWISE
 - C. ASTM A-500, GRADE B - HSS SECTION (SQUARE, RECTANGULAR, AND ROUND)
 - D. ASTM A-325, TYPE SC OR N - ALL BOLTS FOR CONNECTING STRUCTURAL MEMBERS
 - E. ASTM F-1554 07 - ALL ANCHOR BOLTS, UNLESS NOTED OTHERWISE
- ALL EXPOSED STRUCTURAL STEEL MEMBERS SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION PER ASTM A123. EXPOSED STEEL HARDWARE AND ANCHOR BOLTS SHALL BE GALVANIZED PER ASTM A153 OR B695.
- ALL FIELD CUT SURFACES, FIELD DRILLED HOLES AND GROUND SURFACES WHERE EXISTING PAINT OR GALVANIZATION REMOVAL WAS REQUIRED SHALL BE REPAIRED WITH (2) BRUSHED COATS OF ZNC GALVALITE COLD GALVANIZING COMPOUND PER ASTM A780 AND MANUFACTURER'S RECOMMENDATIONS
- DO NOT DRILL HOLES THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND DETAILED ON STRUCTURAL DRAWINGS.
- CONNECTIONS:
 - A. ALL WELDING TO BE PERFORMED BY AWS CERTIFIED WELDERS AND CONDUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AWS WELDING CODE D1.1.
 - B. ALL WELDS SHALL BE INSPECTED VISUALLY. 25% OF WELDS SHALL BE INSPECTED WITH DYE PENETRANT OR MAGNETIC PARTICLE TO MEET THE ACCEPTANCE CRITERIA OF AWS D1.1. REPAIR ALL WELDS AS NECESSARY.
 - C. INSPECTION SHALL BE PERFORMED BY AN AWS CERTIFIED WELD INSPECTOR.
 - D. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE BURNING/WELDING PERMITS AS REQUIRED BY LOCAL GOVERNING AUTHORITY AND IF REQUIRED SHALL HAVE FIRE DEPARTMENT DETAIL FOR ANY WELDING ACTIVITY.
 - E. ALL ELECTRODES TO BE LOW HYDROGEN, MATCHING FILLER METAL, PER AWS D1.1, UNLESS NOTED OTHERWISE.
 - F. MINIMUM WELD SIZE TO BE 0.1875 INCH FILLET WELDS, UNLESS NOTED OTHERWISE
 - G. PRIOR TO FIELD WELDING GALVANIZING MATERIAL, CONTRACTOR SHALL GRIND OFF GALVANIZING "X" BEYOND ALL FIELD WELD SURFACES. AFTER WELD AND WELD INSPECTION IS COMPLETE, REPAIR ALL GROUND AND WELDED SURFACES WITH ZRC GALVALITE COLD GALVANIZING COMPOUND PER ASTM A780 AND MANUFACTURERS RECOMMENDATIONS



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REV	DESCRIPTION	BY	DATE
1	FOR CONSTRUCTION	PL	11/19/21

ATC SITE NUMBER
310821

ATC SITE NAME
WATERLOO WI 2

SITE ADDRESS
760 CLARKSON ROAD
WATERLOO, WI 53594



Authorized by "EOR"
19 Nov 2021 04:11:00
Mobile design

DRAWN BY	MF
DATE DRAWN	11/19/21
ATC JOB NO.	13731350_M4

GENERAL NOTES

SHEET NUMBER	REVISION
G-002	0

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SITE PLAN NOTES:

- THIS SITE PLAN REPRESENTS THE BEST PRESENT KNOWLEDGE AVAILABLE TO THE ENGINEER AT THE TIME OF THIS DESIGN. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION AND VERIFY ALL EXISTING CONDITIONS RELATED TO THE SCOPE OF WORK FOR THIS PROJECT.
- ICE BRIDGE, CABLE LADDER, COAX PORT, AND COAX CABLE ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL CONFIRM THE EXACT LOCATION OF ALL PROPOSED AND EXISTING EQUIPMENT AND STRUCTURES DEPICTED ON THIS PLAN BEFORE UTILIZING EXISTING CABLE SUPPORTS, COAX PORTS, INSTALLING NEW PORTS OR ANY OTHER EQUIPMENT. CONTRACTOR SHALL VERIFY ALL ASPECTS OF THE COMPONENTS MEET THE ATC SPECIFICATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE ATC CONSTRUCTION MANAGER AND LOCAL UTILITY COMPANY FOR THE INSTALLATION OF CONDUITS, CONDUCTORS, BREAKERS, DISCONNECTS, OR ANY OTHER EQUIPMENT REQUIRED FOR ELECTRICAL SERVICE. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITION OF THE STATE AND NATIONAL CODES, ORDINANCES AND REGULATIONS APPLICABLE TO THIS PROJECT.
- CONTRACTOR SHALL INSURE THAT ALL WORKING SPACE REQUIREMENTS ARE MET PER APPLICABLE CODES AND MANUFACTURER SPECIFICATIONS.
- ABOVE GROUND CONDUITS NEED TO BE SUPPORTED/FASTENED PER NEC 344, NEC 352, AND PER ATC CONSTRUCTION SPECIFICATIONS.
- THE FOLLOWING SIGNS SHALL BE INSTALLED AT TENANT SERVICE MAIN DISCONNECT PER NEC 702.7.
 - "CAUTION: TWO SOURCES OF SUPPLY STANDBY GENERATOR LOCATED OUTDOORS"
 - "WARNING: SHOCK HAZARD EXISTS IF GROUNDING ELECTRODE CONDUCTOR OR BONDING JUMPER CONNECTION IN THIS EQUIPMENT IS REMOVED WHILE ALTERNATE SOURCE IS ENERGIZED"

RODENT CONTROL AROUND GENERATOR ENVELOPE:

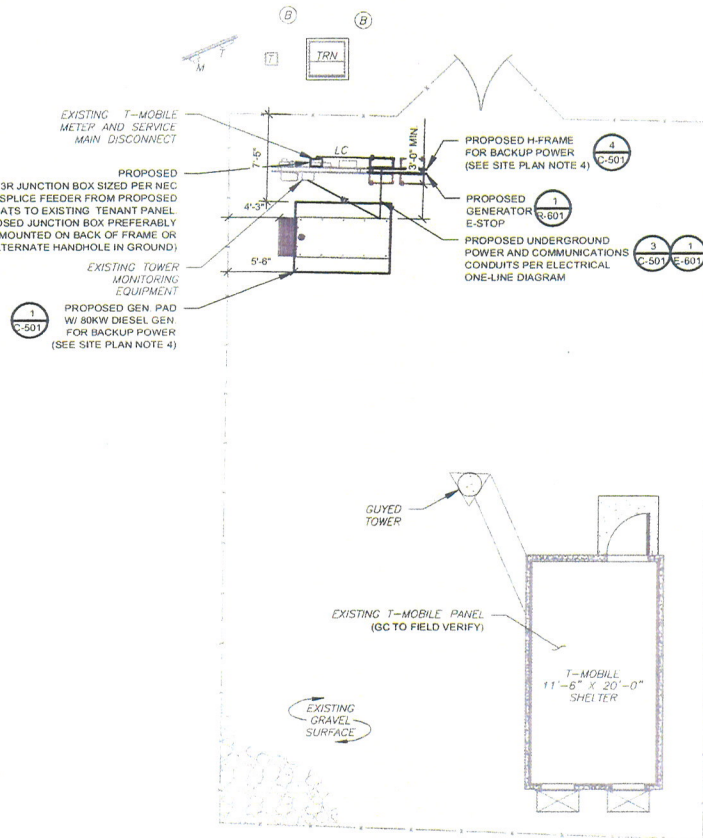
- INSTALL ALL PROVIDED SEALS, PLUGS, COVERS, ETC. IN GENERATOR AND FUEL TANK ENVELOPE. SEAL ALL REMAINING OPENINGS (EXCEPT NORMAL VENTING) WITH RODENT FOAM SEALANT. NO OPENING SHALL BE LARGER THAN 1/4 INCH ANY DIMENSION.
- SEAL ALL CONDUITS INCLUDING CONDUITS ENTERING GENERATOR EQUIPMENT, BOXES, ATTACHMENTS, ETC. WITH RODENT FOAM SEALANT.
- SEAL ALL CONDUIT ACCESS OPENINGS THROUGH CONCRETE PAD WITH CONCRETE.
- SLOPE GRAVEL BASE AT CONCRETE PAD PERIMETER FROM ABOVE PAD BASE TO EXISTING GRADE LEVEL TYPICAL ALL PERIMETER SIDES.

LEGEND

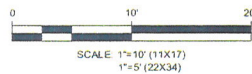
- ⊙ GROUNDING TEST WELL
- ATS AUTOMATIC TRANSFER SWITCH
- B BOLLARD
- CSC CELL SITE CABINET
- D DISCONNECT
- E ELECTRICAL
- F FIBER
- GEN GENERATOR
- G GENERATOR RECEPTACLE
- HH, V HAND HOLE, VAULT
- IB ICE BRIDGE
- K KENTROX BOX
- LC LIGHTING CONTROL
- M METER
- PB PULL BOX
- PP POWER POLE
- T TELCO
- TRN TRANSFORMER
- CHAINLINK FENCE

APPROXIMATE TRENCH DISTANCES

8'	POWER CONDUIT TRENCH
7'	ADDITIONAL TRENCHING REQUIRED FOR COMMUNICATIONS EQUIPMENT



1 DETAILED SITE PLAN



AMERICAN TOWER
ATC TOWER SERVICES
 3500 REGENCY PARKWAY
 SUITE 100
 CARY, NC 27518
 PHONE: (919) 468-0112
 COA: 4069-11

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REV	DESCRIPTION	BY	DATE
0	FOR CONSTRUCTION	PL	11/18/21

ATC SITE NUMBER
310821

ATC SITE NAME
WATERLOO WI 2

SITE ADDRESS
700 CLARKSON ROAD
WATERLOO, WI 53594

SEAL

ESHA K. MODI
 MODI
 45601-6
 CARY, NC
 PROFESSIONAL ENGINEER

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 19 Nov 2021 04:11:00

DRAWN BY	MF
DATE DRAWN	11/18/21
ATC JOB NO.	13731350_M4

SITE PLAN	
SHEET NUMBER	REVISION
C-101	0

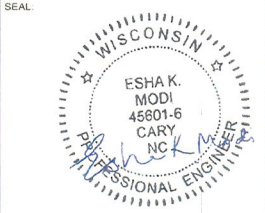
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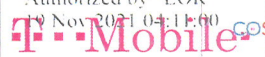
REV	DESCRIPTION	BY	DATE
01	FOR CONSTRUCTION	PL	11/15/21

ATC SITE NUMBER:
310821

ATC SITE NAME:
WATERLOO WI 2

SITE ADDRESS:
 760 CLARKSON ROAD
 WATERLOO, WI 53594

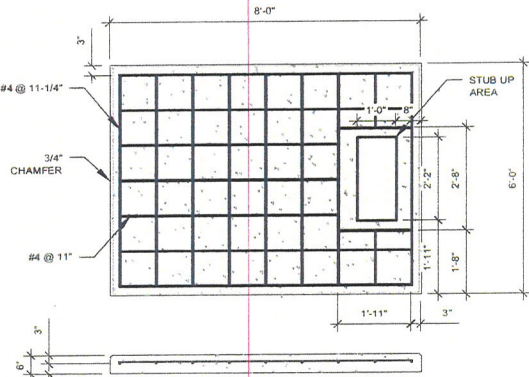


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DATE DRAWN:	11/15/21
ATC JOB NO:	13731350_M4

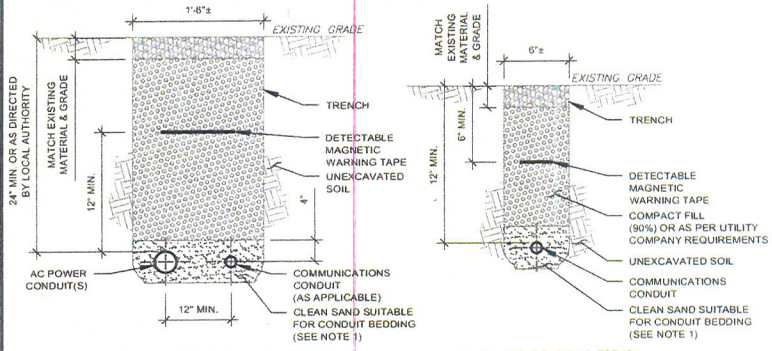
CONCRETE PAD DETAILS

SHEET NUMBER:	REVISION:
C-501	0



- PAD NOTES:**
- PADS SHALL BE PRE-CAST MATCHING THIS DESIGN WHERE ALLOWED BY LOCAL JURISDICTION.
 - PADS SHALL HAVE A MIN 28 DAY COMPRESSIVE STRENGTH AS SPECIFIED ON G-002, CONCRETE AND REINFORCING STEEL NOTES #3
 - REFER TO CONCRETE & REINFORCED STEEL NOTES ON SHEET G-002 & ATC CONSTRUCTION SPECIFICATION 033000 FOR CAST-IN-PLACE PADS.
 - STUB UP AREA SHALL BE FILLED WITH QUIKRETE, OR APPROVED EQUAL, PRIOR TO FINAL SET OF GENERATOR ON PAD.
 - AFTER FINAL SET OF GENERATOR ON PAD, GROUT ALL EXTERIOR OPENINGS AT PAD INTERFACE SO THAT FINISHED MAXIMUM OPENING SHALL BE 1/4 INCH.
 - GROUT SHALL BE PER ATC CONSTRUCTION SPECIFICATION DIVISION 03, CONCRETE

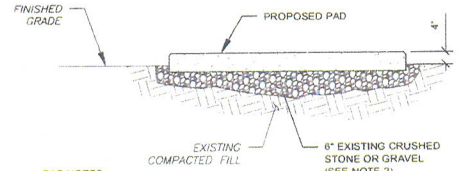
1 REINFORCED PAD LAYOUT
 SCALE: N.T.S.



POWER AND COMMUNICATIONS JOINT TRENCH **COMMUNICATIONS ONLY TRENCH**

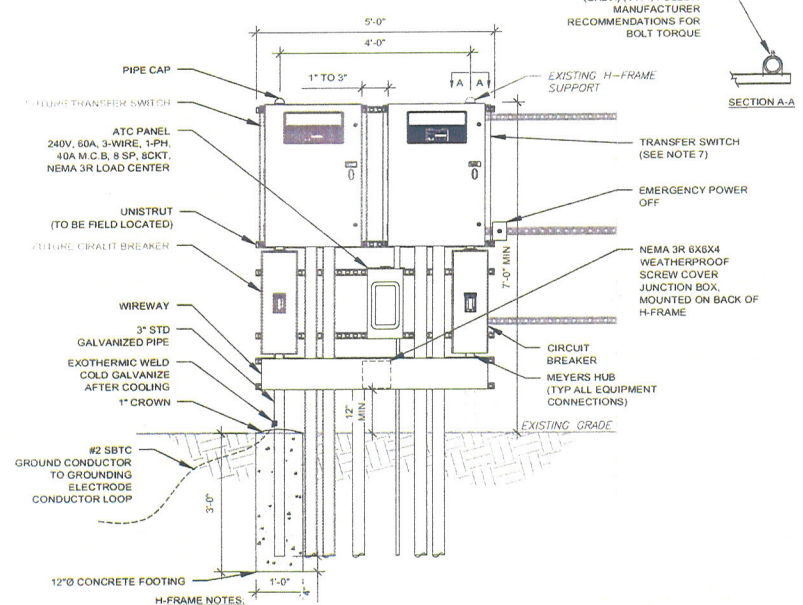
- TRENCH NOTES:**
- IF FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL, EXCAVATED MATERIAL MAY BE USED FOR BACKFILL. IF NOT, PROVIDE CLEAN, COMPACTIBLE MATERIAL.
 - COMPACT IN 8" LIFTS USING A MECHANICAL PLATE TAMPER, MIN 3 PASSES. REMOVE ANY LARGE ROCKS PRIOR TO BACKFILLING. CONTRACTOR TO VERIFY LOCATION OF EXISTING U/G UTILITIES PRIOR TO DIGGING. SEE ATC CONSTRUCTION SPECIFICATION 312000 SECTION 3.15.
 - IF CURRENT AS-BUILT DRAWINGS ARE NOT AVAILABLE CONTRACTOR SHALL HAND DIG U/G TRENCHING.
 - CONFIRM SPACING AND DEPTH WITH NEC OR LOCAL CODE REQUIREMENTS.

3 CONDUIT TRENCH DETAILS
 SCALE: N.T.S.



- PAD NOTES:**
- SUBGRADE AND FILL SHALL CONSIST OF CLEAN SOIL. DELETERIOUS MATERIAL AND ORGANICS SHALL BE REMOVED.
 - MECHANICALLY COMPACT FOOTPRINT OF PAD PLUS 2' PERIMETER USING A MECHANICAL PLATE TAMPER, MIN 3 PASSES. SEE ATC CONSTRUCTION SPECIFICATION 312000 ACCESS ROAD AND EARTH WORK.
 - USE GALVANIZED HULTI EXPANSION ANCHORS OR APPROVED EQUAL, FOR EQUIPMENT ANCHORAGE.
 - FOR SIZE AND LOCATION OF ANCHORS AND OTHER REQUIREMENT, SEE EQUIPMENT VENDOR DRAWINGS.

2 GRAVEL PREPARATION
 SCALE: N.T.S.



- H-FRAME NOTES:**
- IF IT IS NECESSARY TO EXTEND THE H-FRAME, AN ADDITIONAL POST SHALL BE REQUIRED.
 - PROPOSED UNISTRUTS TO BE FIELD CUT AND SHALL NOT EXTEND MORE THAN 6 INCHES BEYOND THE LAST POST.
 - SPRAY ENDS OF UNISTRUT WITH COLD GALVANIZING SPRAY PAINT. ALLOW TO DRY, THEN COVER WITH RUBBER PROTECTIVE CAPS FOR SAFETY.
 - UNISTRUT TO BE CUT FLUSH WITH NO SHARP OR JAGGED EDGES.
 - ALL PROPOSED HARDWARE TO BE MOUNTED AND GROUNDED PER MANUFACTURERS SPECS.
 - ALL ITEMS ARE PROPOSED UNLESS OTHERWISE NOTED.
 - LAYOUT H-FRAME & PROPOSED EQUIPMENT EXACTLY AS SHOWN TO ALLOW FOR FUTURE EQUIPMENT. ANY DEVIATIONS MUST BE APPROVED BY ATC CM, IN WRITING, NO EXCEPTIONS.
 - FOOTINGS SHALL BE ONE OF THE FOLLOWING: USS POLECRETE STABILIZER SYSTEM. PRECAST CONCRETE (WHERE ALLOWED BY JURISDICTION) OR CAST IN PLACE. FOR PRECAST FOOTINGS, CONTRACTORS SHALL THOROUGHLY COMPACT THE PERIMETER (2' MIN) OF FOOTING WITH MECHANICAL PLATE TAMPER.

4 H-FRAME
 SCALE: N.T.S.

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THIS DESIGN ONLY APPLICABLE TO 240V 1Ø UTILITY SERVICE. FIELD VERIFY UTILITY SERVICE AND IF NOT 240V 1Ø, HALT CONSTRUCTION AND RE-PROCESS FOR RE-DESIGN

EXISTING METER SOCKET WITH TENANT CIRCUIT BREAKER SERVICE ENTRANCE RATED. VERIFY GROUND PER NEC (MIN #2 SBTC)

16"X16"X6" JUNCTION BOX. SPLICE OR FEED THROUGH AS REQUIRED (SEE NOTES 2 AND 3)

UN-TERMINATE EXISTING AT TENANT SERVICE MAIN. PULL BACK INTO PROPOSED JUNCTION BOX AND SPLICE AS SPECIFIED.

ONE-LINE NOTES:

- CONNECT CTS PER HTS OWNERS MANUAL SECTION 3.11.2 INSTRUMENT PACKAGE
- SPLICE WITH "POLARIS" TAPS OR APPROVED EQUAL, SECURELY WRAPPED WITH COMMERCIAL GRADE NYLON ELECTRICAL TAPE AFTER INSTALLATION IS COMPLETE.
- UTILIZE EXISTING ENCLOSURES FOR SPLICING (PER NEC 312.8) OR INSTALL NEW JUNCTION BOX AS APPLICABLE PER SITE CONDITIONS AND CODES. SIZE JUNCTION BOX AS PER NEC 314.23
- IF TAPPING AT TENANT EQUIPMENT, NO TAPS MAY BE MADE WITHIN THEIR EXISTING EQUIPMENT INCLUDING PPC.
- TAP GENERATOR PANEL CIRCUIT TO LUGS ON T-TERMINALS (LOAD SIDE) WITH AUXILIARY TAP SCREW. TERMINATE CONDUCTOR ON EACH LUG WITH INSULATED RING TERMINAL PROPERLY SIZED.
- EMERGENCY POWER OFF PUSHBUTTON IN WEATHER-PROOF ENCLOSURE FOR REMOTE SHUTDOWN OF GENERATOR ENCLOSURE, FURNISHED BY GENERATOR MANUFACTURER AND INSTALLED BY CONTRACTOR. CONNECT TO Y-TERMINALS LOCATED NEAR TB2 VIA 2#18 AWG WIRES IN 1/2" LFMC.

TERMINATE 120/208V OR 120/240V 3-WIRE CIRCUIT ON GENERATOR WIRING TERMINAL STRIP. VERIFY OR INSTALL AS FOLLOWS:
 1. BATTERY CHARGER - PRE-WIRED ON ONE 120V CIRCUIT
 2. BLOCK HEATER - HARD WIRED 120V CIRCUIT

125A, 2P, 240V NEMA 3R SERVICE ENTRANCE RATED CIRCUIT BREAKER (TYP)

EMERGENCY POWER OFF (SEE NOTE 6)
 BOND PER NEC (MIN #2 SBTC)

400/2 MAIN CIRCUIT BREAKER FOR 80KW 1Ø, 120/240V, 3W, OPTIONAL STANDBY GENERATOR. PROPOSED DOUBLE 250 KCMIL AL LUGS ON EACH POLE OF LOAD SIDE OF MCB - TOTAL 2 LUGS. SEE TELCO AND POWER JOINT TRENCH CONDUIT ON C-501

(2) SETS OF (3) 250 KCMIL AL AND (1) #1 AWG AL G IN (2) 3" C

WIRE WAY, 8" x 8" MINIMUM LENGTH OF FRAME
 SPLICE WITH 3-PORT "POLARIS" TAPS OR APPROVED EQUAL, SECURELY WRAPPED WITH COMMERCIAL GRADE NYLON ELECTRICAL TAPE AFTER INSTALLATION IS COMPLETE. (TYP ALL CONNECTIONS)

COMMUNICATIONS CABLE IN 1" C (SEE DETAIL 4/E-601)

200A, 2P, 240V AUTOMATIC TRANSFER SWITCH WIRED AS A NON-SEPARATELY DERIVED SYSTEM (TYP)

3-250 KCMIL AL, 1-#4 AL G, 3" C (TYP)

3-4/20 AWG AL, 1-#4 AWG AL G, 2" C

3-4/20 AWG AL, 1-#1 AWG AL G, 2" C

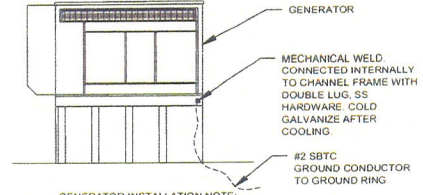
(4) #12 AWG CU THWN (1) #12 AWG CU G IN 3/4" C

3-#8 AWG CU, 1-#6 AWG CU, 3/4" C

ATC PANEL 240V, 60A, 3-WIRE, 1-PH, 40A M.C.B. 8 SP, 8CKT, NEMA 3R LOAD CENTER. ALL BRANCH CIRCUIT BREAKERS SHALL BE GFCI RATED.

TO PROPOSED MONITORING UNIT (WHEN APPLICABLE, SEE 5/E601)

1 ELECTRICAL ONE-LINE DIAGRAM
 SCALE: NOT TO SCALE

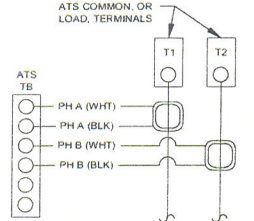


GENERATOR INSTALLATION NOTE:

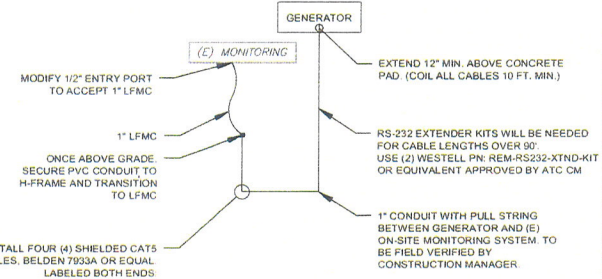
INSTALL GENERATOR AND TRANSFER SWITCH WITH ALL SUPPLIED ACCESSORIES PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, ACCESSORIES FOR THE EXHAUST SYSTEM, FUEL SYSTEM, ENCLOSURE INTEGRITY (CAPS, PLUGS, COVERS, ETC.), ELECTRICAL CONNECTIONS, AND GROUNDING CONNECTIONS.

2 GENERATOR GROUNDING
 SCALE: NOT TO SCALE

DEMAND LOAD CALCULATION	
GENERATOR LOADS	2.5 KW
TENANT PANEL DEMAND LOADS	25.0 KW
TOTAL DEMAND LOADS (KW)	27.5 KW
TOTAL DEMAND CURRENT (A) AT 120/240V, 1PH, 3W	114.5 A

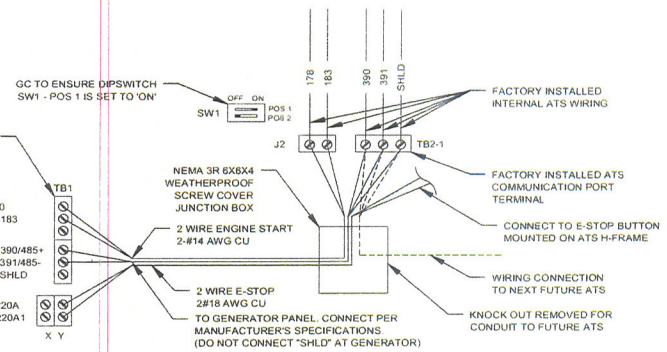


3 CT WIRING DIAGRAM
 SCALE: NOT TO SCALE



NOTE:
 TERMINATE BOTH ENDS OF ALL CABLES WITH SHIELDED RJ45 CONNECTORS, BELDEN 0986 EMC-500 OR EQUAL USING INDUSTRY STANDARD 568-A WIRELESS SCHEME. TEST ALL CABLES AFTER INSTALLATION AND CORRECT AS NECESSARY. LEAVE CABLES UNCONNECTED FOR COMMISSIONING TEAM. COIL ALL CABLES 3 FT. MINIMUM IN BOX.

5 CONNECTING TO EXISTING MONITORING
 SCALE: NOT TO SCALE



4 COMMUNICATIONS CABLE DETAIL
 SCALE: NOT TO SCALE



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REV.	DESCRIPTION	BY	DATE
1	FOR CONSTRUCTION	PL	11/18/21

ATC SITE NUMBER
310821
 ATC SITE NAME
WATERLOO WI 2
 SITE ADDRESS
 760 CLARKSON ROAD
 WATERLOO, WI 53594



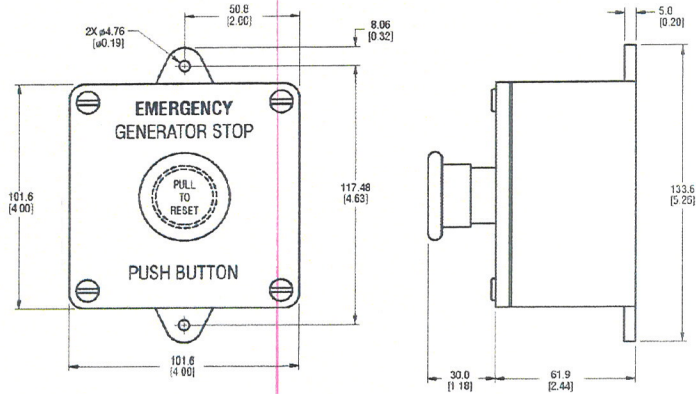
Authorized by "EOR"
 19 Nov 2021 04:14:01
 MobileSign

DRAWN BY:	MF
DATE DRAWN:	11/18/21
ATC JOB NO:	13731350_M4

ELECTRICAL ONE-LINE AND WIRING DETAILS

SHEET NUMBER:	REVISION:
E-601	0

**REMOTE EMERGENCY STOP SWITCH
SURFACE MOUNT, H-PANEL**



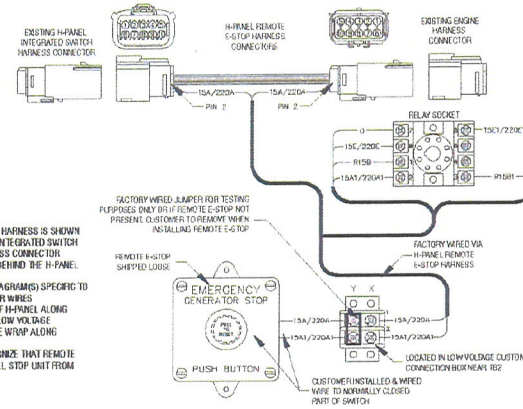
- MANUFACTURER: PILLA ELECTRICAL PRODUCTS, INC.
- MODEL SG120
- GENERAC PART NUMBER 081129E
- SURFACE MOUNT, NEMA 4X
- NONMETALLIC BACKBOX

DIMENSIONS: mm(INCHES)

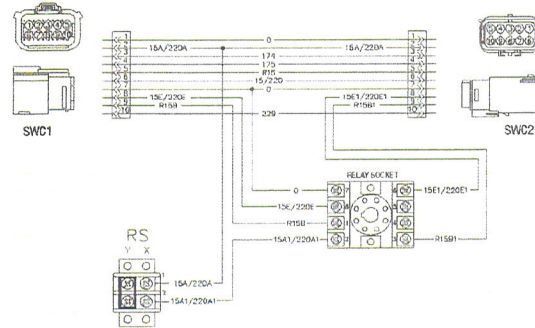
GENSET CONTROLS
1 OF 2

1 E-STOP SWITCH

**REMOTE EMERGENCY STOP SWITCH
SURFACE MOUNT, H-PANEL**



- NOTES:
- 1) THE H-PANEL REMOTE E-STOP HARNESS IS SHOWN IN POSITION BETWEEN EXISTING INTEGRATED SWITCH CONNECTOR AND ENGINE HARNESS CONNECTOR. CONNECTION POINTS IS LOCATED BEHIND THE H-PANEL MOUNTED COVER.
 - 2) SEE WIRING OR SCHEMATIC DIAGRAM(S) SPECIFIC TO UNIT FOR INFORMATION ON OTHER WIRES.
 - 3) FACTORY FUNDS WIRING OUT OF H-PANEL ALONG ENGINE HARNESS THAT ENTERS LOW VOLTAGE CUSTOMER CONNECTION BOX. THE WIRING ALONG HARNESS AS NEEDED.
 - 4) THE H-PANEL WILL NOT RECOGNIZE THAT REMOTE E-STOP WAS ACTIVATED, BUT WILL STOP UNIT FROM RUNNING.



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Part No. 0_6260
Rev A 10/15/15

GENSET CONTROLS
2 OF 2

SUPPLEMENTAL

SHEET NUMBER:	REVISION:
R-601	0