



136 North Monroe Street
Waterloo, Wisconsin 53594-1198

NOTICE OF A CITY OF WATERLOO PLAN COMMISSION PUBLIC HEARING AND MEETING

Pursuant to Section 19.84 Wisconsin Statutes, notice is hereby given to the public and the news media, the following meeting will be held to consider the following:

MEETING: PLAN COMMISSION
DATE: TUESDAY, APRIL 25, 2023 **TIME: 6:00 p.m.**
LOCATION: 136 N. MONROE STREET, MUNICIPAL BUILDING COUNCIL CHAMBERS
UPDATED 4/24/2023 10:45 AM

PLAN COMMISSION REGULARLY SCHEDULED MEETING

- 1) CALL TO ORDER AND ROLL CALL
- 2) APPROVAL OF MEETING AND PUBLIC HEARING MINUTES: January 24, 2023
- 3) CITIZEN INPUT
- 4) COMPLIANCE & ENFORCEMENT REPORT
- 5) OLD BUSINESS
 - a. Ordinance Signs and Billboards 385-26
- 6) NEW BUSINESS
 - a. Van Holten plan for new warehousing
 - b. Trek Red Barn signage
 - c. Dempsey/Duquaine Site Plan Discussion Clarkson Road
- 7) FUTURE AGENDA ITEMS & ANNOUNCEMENTS
- 8) ADJOURNMENT

Jeanne Ritter, Clerk/Deputy Treasurer

Members: Leisses, Quimby, Petts, Crosby, Reynolds, Empey & Renforth

Posted, Distributed & Emailed: 04/21/2023

PLEASE NOTE: It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above meeting(s) to gather information. No action will be taken by any governmental body other than that specifically noticed. Also, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request such services please contact the clerk's office at the above location.

WATERLOO PLAN COMMISSION – Minutes from January 24, 2023

[a digital meeting recording also serves as the official record]

PUBLIC HEARING – TID 5 CREATION

1. PUBLIC HEARING - Call to Order 6:00pm
2. Public Hearing – Brea Grace presented information on TID 5. Questions were asked that will be addressed during New Business
3. Adjourn Public Hearing 6:26 pm

PLAN COMMISSION REGULARLY SCHEDULED MEETING

- 1) CALL TO ORDER AND ROLL CALL. Clerk Ritter called the meeting to order at 6:26 pm. Commissioners attending: Sorenson, Crosby, Empey, Leisses, Chadwick and Petts. Remote: Quimby Absent: none. Others in attendance: Brea Grace SEH, Everett Butzine NMC, Mike Lannoy, Tim Thomas, Maureen Giese and Maria & Kevin Henry.
- 2) APPROVAL OF MEETING AND PUBLIC HEARING MINUTES: none
- 3) CITIZEN INPUT - none
- 4) COMPLIANCE & ENFORCEMENT REPORT. Reviewed.
- 5) OLD BUSINESS - none
- 6) NEW BUSINESS
 - a) Luminous Rose Awning Permit Motion [Sorenson/Leisses] VOICE VOTE: Motion carried.
 - b) Discussion Ordinance Signs & Billboards §385-26
 - c) 2023-04 Consideration of Resolution for Adoption of Tax Incremental District #5 Project Plan and Boundary. Motion to approve with Electric Upgrade added to Table 7 of TID #5 Project Plan 01/19/2023 Draft [Crosby/Leisses] ROLL CALL: Ayes 7 Noes 0
- 7) FUTURE AGENDA ITEMS & ANNOUNCEMENTS:
- 8) ADJOURNMENT [Leisses/Petts] VOICE VOTE: Motion carried. 7:18pm

Jeanne Ritter, Clerk/Deputy Treasurer

ALL DEPARTMENT BLIGHT LIST updated 03.02.2023

Street	Property #	Open Date	Owner of Property	Who Complained/follow up with	Desired Outcome	Link to Ordinance	Notes	Action	Who is following up	NMC Time spent
Adam St	380	12.01.2022/03.02.2023	Jeanette Petts	DPW/PD			Junks & Unregistered Vehicles	Verbal warning	PD	0
Beech Rd	126	03.02.2023	Jennifer Kick	DPW/PD			Tree		DPW	0
Bradford Drive	420	03.02.2023	James Kuhlow	DPW/PD			Trees		DPW	0
Chestnut St	1302	03.02.2023	Alfonso Chairez	DPW/PD			Vehicle		PD	0
Cleveland	527	03.02.2023	Robert Gingles	DPW/PD			Vehicle		PD	0
Crestview	565	2.15.2023/03.02.2023	565 Crestview LLC	Mayor/DPW/PD			Junk		PD	0
Edison St	443	03.02.2023	Robert Wollin	DPW/PD			Vehicle		PD	0
E Madison St	130	03.02.2023	Mark Hurley	DPW/PD			Structure damage		SB	0
E Madison St	466	1.12.2023/03.02.2023	Theodore Stenberg	DPW/PD			Building		SB	0
E Madison St	506	03.02.2023	Steven Brey	DPW/PD			Vehicle		PD	0
E Madison St	1109	03.02.2023	Cass Gilbertson	DPW/PD			Tree		DPW	0
Harrison	505	03.02.2023	Bryan Rowin	DPW/PD			Vehicle		PD	0
Herron Court	735	03.02.2023	Jason Meyer	DPW/PD			Trailer		PD	0
Herron Drive	815	03.02.2023	Dan Smith	DPW/PD			Car/boat		PD	0
Herron Drive	915	1.12.2023/03.02.2023	Pascal Assine	DPW/PD			Boat & car		PD	0
Hiawatha	840	03.02.2023	Andrea Lendborg	DPW/PD			Trees		DPW	0
Indian Hills	403	03.02.2023	Ronald Klug	DPW/PD			Trailer		PD	0
Indian Hills	605	03.02.2023	Matthew Rennebohm	DPW/PD			Trailer		PD	0
Jackson	595	1.12.2023/03.02.2023	Shyla Davis	DPW/PD			Tree		DPW	0
Jefferson	144	1.12.2023/03.02.2023	Patricia Schickert	DPW/PD			Junk/Tree		PD	0
Knowlton St	334	1.12.2023/03.02.2023	Bradley Bauer	DPW/PD			House Repair		SB	0
Knowlton St	530	03.02.2023	Bryon Bergeron	DPW/PD			Junk		PD	0
Lum	920	1.12.2023/03.02.2023	Kenneth Frandle	DPW/PD			Junk		PD	0
Lum	1085	03.02.2023	Susan Hein	DPW/PD			Building Permit		SB	0
Mill St	140	03.02.2023	John Iwanski	DPW/PD			Vehicle		PD	0
Mill St	173	1.12.2023/03.02.2023	Debra Hottinger	DPW/PD			Vehicle		PD	0
Mill St	257	1.12.2023/03.02.2023	Juan Nava	DPW/PD			Brush		DPW	0
N Monroe	508	1.12.2023/03.02.2023	508 N Monroe LLC	DPW/PD			Junk		PD	0
N Monroe	608	03.02.2023	Chad Chadwick	DPW/PD			Trailer		PD	0
Oak	1332	03.02.2023	Lorna Bredehorn	DPW/PD			Trailer/vehicle		PD	0
Pierce	451	03.02.2023	Paul Marty	DPW/PD			Vehicles		PD	0
Portland Rd	208	1.12.2023/03.02.2023	Gordon Yelk	DPW/PD			Junk		PD	0
Portland Rd	230	1.12.2023/03.02.2023	James Steindorf	DPW/PD			Junk		PD	0
Van Buren	201	03.02.2023	Brian Braunschweig	DPW/PD			Vehicle		PD	0
W Madison St	662	1.12.2023/03.02.2023	Chad Decaluwe	DPW/PD			Junk		PD	0
W Madison St	213	1.12.2023	Bill Hart	DPW/PD			Junk	Certified Letter sent by PD on 1/11/2023	PD	
Washington	164	03.02.2023	Daniel Sokolowski	DPW/PD			Tree		DPW	0
Washington	306	1.12.2023/03.02.2023	Jeffrey Grotjahn	DPW/PD			Building		PD	0
Washington	516	1.12.2023/03.02.2023	James Marshall	DPW/PD			Junk		PD	0

The following Code does not display images or complicated formatting. Codes should be viewed online. This tool is only meant for editing.

§ 385-26 Signs and billboards.

- A. Permit required. No sign shall hereafter be located, erected, moved, reconstructed, extended, enlarged, converted or structurally altered without a sign permit, except those signs excepted in Subsection C below, and without being in conformity with the provisions of this chapter. The sign shall also meet all the structural requirements of the State Building Code. Sign permits meeting all state and local requirements may be issued by the Clerk-Treasurer. The Clerk-Treasurer may refer approval of any sign permit to the Council and the Council may issue or refuse the permit. **[Amended 4-20-2006 by Ord. No. 2006-04]**
- B. Application; fee. An application for a sign permit shall be filed with the Zoning Administrator on a form provided by the Clerk-Treasurer. A permit fee as stated in the City of Waterloo Fee Schedule shall accompany the application. **[Amended by Ord. No. 98-1; 11-17-2005 by Ord. No. 2005-4; 4-20-2006 by Ord. No. 2006-04]**
- C. Signs excepted. All signs are prohibited in the residential, conservancy and agricultural districts, except the following:
- (1) Signs over show windows or doors of a nonconforming business establishment announcing, without display or elaboration, only the name and occupation of the proprietor, and not to exceed two feet in height and 10 feet in length.
 - (2) Real estate signs not to exceed eight square feet in area which advertise the sale, rental or lease of the premises upon which said signs are temporarily located.
 - (3) Name, occupation and warning signs located on the premises not to exceed 576 square inches, which is the equivalent of four square feet. **[Amended by Ord. No. 98-1]**
 - (4) Bulletin boards for public, charitable or religious institutions not to exceed eight square feet in area located on the premises.
 - (5) Memorial signs, tablets, names of buildings and date of erection when cut into any masonry surface or when constructed of metal and affixed flat against a structure.
 - (6) Official signs such as traffic control, parking restrictions, information and notices.
 - (7) Temporary signs or banners when authorized by the Council.
 - (8) Directional signs hung from City-owned poles meeting all requirements of the City Directional Sign Policy as approved by the Council and signed by the Mayor. **[Added 11-4-2004 by Ord. No. 2004-4]**
 - (9) Residential development signs, up to 64 square feet, advertising the sale of lots in a subdivision. **[Added 12-5-2013 by Ord. No. 2013-06]**
 - (10) Temporary political signs do not require a permit. Such signs are subject to the restrictions pertaining to safety of persons and property, with the consent of the property owner or person entitled to possession of the property. No political sign may be more than 64 square feet, and the total area of all political signs per lot shall not exceed 32 square feet. All signs shall be removed in accordance with state law. **[Added 12-5-2013 by Ord. No. 2013-06]**
- D. Signs permitted. Signs are permitted in all commercial and industrial districts, subject to the following restrictions:

- (1) Overhanging signs in commercial districts. An overhanging sign or sign projecting from a building shall not overhang or project into or over any sidewalk, alley or street of the City more than six feet from the building to which it is attached and shall not be less than 10 feet above the mean center-line street grade and less than 15 feet above a driveway or alley. All guides and stays shall be rods or chains and shall be firmly fastened. **[Amended 7-21-2003 by Ord. No. 2003-4]**
- (2) Signs not to constitute a public hazard. No sign shall be erected at any location where it may, by reason of its position, shape, color or other characteristics, interfere with, obstruct the view of, or be confused with any authorized traffic sign, traffic signal or other traffic device, nor shall any sign make use of the word "stop," "look," "danger," or any other word which could be mistaken for an official sign.
- (3) Illuminated sign. No sign shall be illuminated by intermittent, rotating or flashing lights.
- (4) Ground signs. Ground signs shall be considered buildings and must observe all applicable setback lines and height restrictions, except that the setback from the street can be a minimum of 12 feet from the edge of the right-of-way and the location of the sign shall comply with the vision clearance set forth in § **385-3G** of this chapter. Except as hereafter authorized, no ground signs advertising a business located off the premises where such sign is located, other than directional signs, shall be permitted. Such directional signs shall not exceed 100 square feet on one face and 200 square feet on all faces and shall not exceed 20 feet in height. **[Amended by Ord. No. 96-6]**
- (5) Vacant lot maintenance. Vacant lots upon which advertising signs now exist or which are erected pursuant to this section shall be maintained in an orderly fashion by the frequent and periodic removal of rubbish and maintenance of any verdure growing on the lot.
- (6) Removal of signs at termination of business. At the termination of a business, commercial or industrial enterprise, all signs shall forthwith be removed from the public view. Responsibility for violation shall reside with the property owner according to the latest official tax roll listings.
- (7) Shopping center and industrial park sign restrictions. In a shopping center or industrial park, one freestanding identification sign for each street upon which the development fronts may be permitted showing the name of said center or park and represented business or industries. The area of said sign shall not exceed 100 square feet on one side and 200 square feet on both sides. When multiple independent businesses share the same building or site, each additional business beyond the initial business is permitted 100 square feet of signage in addition to the maximum 200 square feet. This additional signage can be used on the building or a freestanding sign. (Example: A shopping center with three stores would be permitted 400 square feet of signage.) Each center or cluster of uses is permitted one freestanding sign. No signs are permitted within 20 feet of the right-of-way line of the street. **[Amended by Ord. No. 98-1]**
- (8) Total surface display area restrictions. The total surface display area of business or industrial signs on the front facade of a building shall not exceed in square feet two times the number of linear feet of width of the building frontage. In the case of a building located on a corner lot, such square foot display area on the side facing the secondary street may be increased by 1.0 times the number of linear feet of the length of the building which faces the secondary street. Said increased permitted display area shall be used only for the erection of a permitted sign on the length of the building which faces the secondary street. Where the premises abut a parking lot, the total display area may be increased by 0.5 times the number of linear feet of the width or length of the building frontage on such parking lot. Such increased display area shall only be utilized by the erection of a permitted sign on that part of the building which abuts said parking lot. In no case shall the wall area usable for sign display be in excess of 200 square feet, and in no case shall more than one of the above-mentioned criteria be used to calculate allowable sign area on any one building facade.
- (9) Projection of signs in industrial districts mounted on buildings restricted. Industrial signs mounted on

buildings shall not be permitted to project more than six inches beyond the building line. [**Amended 7-21-2003 by Ord. No. 2003-4**]

- (10) Number of signs permitted. Multiple signs shall be permitted; however, the combination of the multiple signs, including any advertisement permanently fastened to show windows or display cases, and including lettering on canopies, shall not exceed 200 square feet.
 - (11) Directional ground signs. Necessary directional ground signs which shall not exceed four square feet in area shall be permitted. Permission to erect such signs must be obtained from the Building Inspector.
 - (12) Lighting. Business and industrial signs may be internally lighted or illuminated by a hooded reflector; provided, however, that such lighting shall be arranged to prevent glare, and no sign shall be lighted by a lighting of intermittent or varying intensity. Animated signs, or signs having moving parts, or signs which may be mistaken for traffic signal devices or which diminish the visibility or effectiveness of such traffic signal devices, are prohibited.
 - (13) Signs causing obstruction prohibited. Any sign so erected, constructed or maintained as to obstruct or be attached to any fire escape, window, door or opening used as means of ingress or egress, or for fire-fighting purposes, or placed so as to interfere with any opening required for legal ventilation, is prohibited.
 - (14) Signs at intersection prohibited. No sign or advertising device shall be erected or maintained at the intersection of streets in such a manner as to obstruct clear vision of the intersection.
 - (15) Subdivision sign maintenance. Subdivision signs which are erected pursuant to this section shall be maintained in an orderly fashion by the frequent periodic removal of rubbish and maintenance of any verdure growing on the lot.
 - (16) Directional signs hung from City-owned poles must meet all requirements of the City Directional Sign Policy as approved by the Council and signed by the Mayor. [**Added 11-4-2004 by Ord. No. 2004-4**]
- E. Existing signs. A sign lawfully existing at the time of the adoption or amendment of this chapter may be continued, although the use, size or location does not conform to the provisions of this section. However, it shall be deemed a nonconforming use of the structure and the provisions of § **385-5** of this chapter shall apply. See also Subsection **D(6)** above.

Sec. 54-5. - Obstructions and encroachments.

- (a) *Prohibited generally.* No person shall encroach upon or in any way obstruct or encumber any street, alley, sidewalk, public grounds or land dedicated to public use, or any part thereof, or permit such encroachment or encumbrance to be placed or remain on any public way adjoining the premises of which he is the owner or occupant, except as provided in subsection (b) of this section.
- (1) *Littering during construction related operations.* Any person who shall cause the littering of any public street, alley, thoroughfare, right-of-way or public land during the course of performing any construction, demolition, remodeling or related work shall clean and remove such litter at the end of the workday when such litter was deposited or upon completion of the construction operation, whichever occurs first, in a manner satisfactory to the director of facilities, or his/her designee.
- (2) *Litter defined.* The term "litter", for the purpose of this section, means earth, rock, construction material or other organic or inorganic material.
- (3) *Costs to be assessed.* If the person causing such littering does not meet the cleanup and removal requirement of this section, the director of facilities, or his/her designee may cause the cleanup and removal of such litter to be performed with the cost of the same, plus a 20 percent administrative fee, billed to the property owner.
- (b) *Exceptions.* The prohibition of subsection (a) of this section shall not apply to the following:
- (1) Signs or clocks attached to buildings which project not more than six feet from the face of such building and which do not extend below any point 12 feet above the sidewalks, street, or alley and all in conformance with the provisions of division 2, article IV of chapter 70 of this Code.
- (2) Awnings which do not extend below any point seven feet above the sidewalk, street, or alley.
- (3) Public utility encroachments authorized by the city.
- (4) Goods, wares, merchandise or fixtures being loaded or unloaded which do not extent more than three feet on a sidewalk, provided that such goods, wares, etc., do not remain thereon for more than three hours.
- (5) Building materials when placed upon the street, alley or sidewalk upon conditions prescribed by the street superintendent. He may require these materials to be protected by barricades or appropriate lights.
- (6) Mailboxes mounted upon a single vertical pole or support without any other structure or material attached to or abutting the vertical support, except horizontal members to accommodate more than one required mailbox, above the existing grade of the tree border

- 3) Location. A sign may be affixed to or located upon any vertical or nearly vertical face of a marquee, so that no portion of the sign falls above or below the face of the marquee. In no instance shall a marquee sign be located so that it extends beyond the curb line of the street.
- 4) Height. In no instance shall a marquee sign be lower than ten feet above the sidewalk or public thoroughfare.
- 5) Use of marquee. Marquee signs are permitted only on theaters, places of entertainment and hotels.

f. Canopy and awning signs.

- 1) Area. The sign surface area of a canopy or awning sign shall not exceed 15 percent of the area of the vertical section of the canopies and awnings. The area of the vertical section of the canopies and awnings is calculated as the height of the canopy or awning (difference between the highest and lowest point on the canopy or awning) multiplied by the length of the canopy or awning measured parallel to the façade upon which it is attached.
- 2) Location.
 - a) Canopies and awnings shall be constructed and erected so that the lowest portion of the projecting frame thereof shall be not less than seven feet six inches, and the lowest portion of the descending skirt shall be not less than six feet eight inches above the level of the sidewalk or public thoroughfare.
 - b) No portion of the canopy or awning sign shall extend above or beyond the canopy or awning upon which it is attached, however, signs may be hung beneath canopies parallel to the building frontage so long as they do not descend below the six foot-eight inch minimum clearance.
 - c) Awnings shall not project more than 36 inches out from the building upon which they are attached, nor extend out from the building beyond the extension of awnings on adjoining buildings.
- 3) Installation requirements. To preserve the architectural integrity of a building, no canopy or awning, and no canopy or awning sign shall cover or interrupt significant architectural elements such as columns, column caps, friezes, door or window heads, embellishments, adornments, fenestrations or ornamental detailing.
- 4) Illumination of awnings and canopies. Awnings and canopies may be illuminated where the following conditions are maintained:
 - a) Both interior type strip lighting and exterior type goose neck lighting is permitted, not exceeding a maximum light level of 18 foot-candles measured three feet from the perpendicular to the light source.
 - b)

The bottom of any illuminated awning or canopy shall be enclosed.

- c) The provisions of subsection 114-136(1)d. are satisfied.
- 5) Materials. Canopy and awning signs shall be made of either the material with which the canopy or awning is covered or other water proof materials affixed flush to the face of the canopy or awning, or be painted directly on the awning or canopy material with weather-resistant paint.
- g. Temporary signs/banners.
 - 1) Number. There shall not be more than two temporary signs/banners displayed on a premises at any time.
 - 2) Area. Temporary signs/banners shall not exceed 32 square feet in sign/banner surface area for each exposed face, nor 64 square feet total sign/banner surface area.
 - 3) Location. Temporary signs/banners shall be located only upon the premises to which the special, unique, or limited activity, service product, or sale is to occur. Temporary signs/banners shall be either wall signs/banners or freestanding signs/banners and shall conform to the location requirements of this chapter. No temporary signs/banners shall be permitted on vehicles.
 - 4) Time limitations. Temporary signs/banners shall be erected and maintained for a period not to exceed 30 days, and shall be removed within three days of termination of the activity, service, project, or sale.
 - 5) Installation requirements. All temporary signs/banners shall be anchored and supported in a manner which reasonably prevents the possibility of the signs/banners becoming hazards to the public health and safety as determined by the zoning administrator.
 - 6) Certain temporary signs/banners exempt. This paragraph shall not apply to temporary window signs governed by subsection 15.08(2)(b)26.
- h. Unified business center signs. In addition to the signs permitted for each separate occupant, there may be one identification sign for a unified business center. The permitted sign surface area of said sign shall not exceed one tenth of one percent of the lot area of the premises nor a maximum of 120 square feet. Said identification sign shall conform to all of the regulations (except those governing number and area) for individual sign types found elsewhere in this section. As used in this paragraph, "unified business center" shall mean a single building or group of architecturally similar buildings on adjacent lots under common ownership, having multiple occupants engaging in unrelated businesses and sharing a common parking area.
- i. Directional and information signs. On-premise directional and informational signs may be placed on private property near driveway entrances (outside of vision triangles), at building entrances, and in parking lots and loading areas where necessary for legitimate directional purposes. The city recognizes that medical campus facilities, schools, correctional

- [c] Wood clapboard siding;
 - [d] Other materials subject to approval by the City.
- [2] The following materials are prohibited in visible locations:
- [a] Corrugated or beveled metal siding.
 - [b] Vinyl or plywood siding.
 - [c] Tinted or mirrored glass (except stained glass) as a major building element.
 - [d] Corrugated fiberglass.
 - [e] Chain-link fencing.
 - [f] Crushed rock/crushed tumbled glass.
 - [g] Exterior Insulation Finish Systems (EIFS) when used for the dominant facade material.
- (f) Colors. Exterior finish colors are to express the integral color of building materials (i.e., brick, cast stone). Colors should be neutral shades of natural colors found in nature in the local region, and include limited compatible accent colors. The color of neighboring buildings that comply with this section should be considered when selecting colors for repainting or remodeling of existing structures and for new structures.
- (g) Corner buildings. Buildings located at the intersection of streets should include design elements or treatments to the building corner facing the intersection.
- [1] Provide a corner entrance to a store, courtyard, building lobby, atrium, pedestrian pathway, or pedestrian-oriented space.
 - [2] Include corner architectural elements.
 - [3] Special treatment of pedestrian weather protection canopy at the corner of the building.
 - [4] Other similar treatment or element approved by the City.
- (h) Blank walls. Blank walls shall not be visible from a street, public park or open space. Treatment of blank walls is to be proportional to the front facade. The applicant must submit architectural plans and elevations showing proposed treatments for approval.
- (i) Franchise/corporate architecture. Prototype design for franchises should use customized components that are consistent with the desired traditional main street character and that reinforce visual consistency with other adjacent buildings. No franchise architecture will be allowed unless it can be shown that it is harmonious with the elements of typical early 1900s architectural detail.
- (j) Awnings.
- [1] Materials. Awnings shall be constructed of high-quality materials such as matte finish canvas or vinyl-coated canvas, and shall be of simple, historically compatible design typical to early 1900s downtown Lake Mills buildings. Awnings shall not be installed so as to obscure significant architectural details of a building. Bubble, box, or shiny plastic awnings shall be prohibited. Mansard awnings shall be prohibited in the B1 District. Architectural metal awnings may be permitted with approval of the Zoning Administrator.
 - [2] Colors. Solid color or two-color striped awnings are permitted. Corporate colors on awnings are permitted only if they are architecturally compatible with the building on

which the awning is attached. Overly iridescent or fluorescent colors shall be prohibited.

- [3] Signage. Signage on awnings shall be limited to the vertical drip or flat face (perpendicular to the street or sidewalk) of an awning, and shall not be permitted on the sides or top slope of an awning.
- [4] Length. Awnings shall not exceed the width of a single building or building module. Awnings shall not be installed so as to extend across more than one storefront.
- [5] Illumination. Backlit or internally lit awnings shall be prohibited.

shall be determined by the Building/Zoning Inspector during the sign permit review process.

- [a] The top edge of a wall sign shall not extend above the top edge of the vertical exterior wall or above the lowest edge of a roof line of the portion of the building to which it is mounted.
 - [b] Wall signs shall not project more than one-foot horizontally beyond the edge of any wall or other surface to which they are mounted.
 - [c] Wall signs may be allowed on a mansard surface, only if the surface is within 25° of vertical and only if the Building Inspector deems that such is acceptable.
- [2] Awning sign. A type of on-building sign that is directly affixed via sewing, silk screening, painting, or similar method to a non-rigid removable awning which is mounted to the facade of a building.
- [a] Sign copy shall be horizontally and vertically centered on the face(s) of the awning.
 - [b] Sign copy shall not project above, below, or beyond, the awning surface.
 - [c] Sign copy shall not exceed 50% of the area of an angled face of the awning.
 - [d] Sign copy shall not be more than 12 inches tall on a vertical face of the awning.
 - [e] The entire awning facade (including the vertical and angled faces combined) shall be considered a sign for purposes of area measurement. See Figure 300-9.11a.
 - [f] The area of individual letters of the sign copy may be measured using either of the methods described in Example 1 of Figure 300-9.15b.
- [3] Canopy sign. A type of on-building sign that is directly affixed via bolts, brackets, or similar method to a rigid permanent canopy which is mounted to, or adjacent to, the facade of a building.
- [a] Sign copy shall be horizontally and vertically centered on the face(s) of the canopy.
 - [b] Sign copy shall not project above or below the canopy face.
 - [c] Script limited to eight inches in height and is to cover no more than 10% of the canopy area.
- [4] Marquee sign. A type of on-building sign that is mounted to a permanent roof-like structure that projects out from the exterior wall of a structure and shelters the entrance and/or entrance approaches to a building.
- [a] Sign copy shall be horizontally and vertically centered on the face(s) of the marquee.
 - [b] Marquee signs must be finished and enclosed on both the top and bottom of the sign between the back of the sign face and the building facade.
 - [c] Marquee signs must be a minimum of six feet deep and 16 feet wide.
 - [d] Letters displayed on a marquee sign must be a minimum of 10 inches tall.
 - [e] Marquee signs may only be approved through the conditional use permit process. See § 300-10.32.

- (b) Throughout the district, avoid cluttering building facades with brackets, wiring, meter boxes, antennae, gutters, downspouts and other appurtenances. Unnecessary signs shall also be avoided. Where necessary, such features shall be colored so as to blend in, rather than contrast, with the immediately adjacent building exterior. Extraneous ornamentation which is inconsistent with the design theme described in Subsection (d) above, as determined by the Plan Commission, is also prohibited.

(10) Awnings and marquees. Awning and marquee size, color and placement shall complement the architectural character of the building, as determined by the Plan Commission.

- (a) Soft, weather-treated canvas or vinyl materials which allow for flexible or fixed installation shall be used for awnings.
- (b) Aluminum or suspended metal canopies shall be prohibited.
- (c) Signage applied to awnings shall be simple and durable.
- (d) Backlit awnings are prohibited.

(11) Exterior lighting. On-building exterior lighting shall be compatible and harmonious with the design theme described in Subsection D above, as determined by the Plan Commission.

- (a) On-building lighting. The design, color, height, location, and light quality of all on-building light fixtures shall be consistent for all light fixtures.
- (b) Ground-mounted lighting. The design, color, height, location and light quality of ground-mounted lighting shall be consistent with the design theme described in Subsection D above, as determined by the Plan Commission.

(12) Signage. All signage existing upon the adoption date of this chapter, which does not comply with the standards of Article IX: Signage, may be continued as long as it is well maintained.

- (a) The maintenance of such legal nonconforming signs shall be limited to repair of the sign structural or lighting elements, and to the repainting or replacement of the sign face with identical new material, and original appearance.
- (b) Should a change in material or original appearance be desired, the legal nonconforming sign shall be removed.
- (c) Sign size, color and placement shall complement the architectural character of the building, as determined by the Plan Commission.

(13) Cleaning. Structural components and exterior materials shall be cleaned when necessary, and with only the gentlest possible methods.

- (a) Low-pressure water, steam cleaning, and soft natural bristle brushes are permitted.
- (b) Sandblasting and power washing (more than 400 psi) are prohibited.
- (c) Other methods shall be pre-approved by the Plan Commission.

F. Design standards for design alteration review and renovation review (changes to the exterior appearance of a property).

- (1) Applicability. The design standards contained in this subsection shall apply for the following changes to the exterior of a property:
 - (a) All changes meeting the criteria for design alteration review (including painting, roofing, siding, architectural component substitution, fencing, paving, and signage).
 - (b) All changes meeting the criteria for renovation review (including repainting, re-roofing, residing, or replacing with identical colors, finishes, and materials).

- (c) Any other instance in which existing construction is proposed for rehabilitation and/or restoration. (New projects, building additions, and new appurtenances and features shall comply with the design standards of Subsection E, above.)
- (2) In general. Buildings shall be restored relying on physical evidence (such as photographs, original drawings, and existing architectural details) as much as possible, in keeping with the design theme described in Subsection D above, as determined by the Plan Commission.
- (3) Exterior materials and surface features. Materials and features identical to the original exterior materials and surface features shall be used. If replacement with identical materials and features is not possible, other features and materials may be used, provided they are compatible with the design and style of the building, as determined by the Plan Commission.
 - (a) Where such knowledge is lacking, materials and features in common use at the time of building erection shall be used.
 - (b) Significant architectural features, including cornices, moldings and coursings shall be preserved or replaced with identical features and materials where possible.
- (4) Windows and doors. The size, proportion, and rhythm of original windows and doors shall not be altered.
 - (a) Original window and door openings shall not be blocked. Where now blocked, blocked window and door openings shall be restored where possible.
 - (b) Window and door features, including lintels, sills, architraves, shutters, pediments, hoods and hardware, shall be preserved where possible.
 - [1] If preservation is not possible, as determined by the Plan Commission, window and door features shall be replaced with identical features and materials. If replacement with identical features and materials is not possible, other features and materials may be used, provided they are compatible with the design and style of the building, as determined by the Plan Commission.
 - [2] Dark frames (i.e., anodized bronze) shall be used to replace storefront and upper story windows.
 - [3] Clear aluminum finishes and mill finish aluminum storm windows are prohibited.
 - [4] If shutters are proposed, real, functional shutters or shutters that are the same dimensions as real, functional shutters (as opposed to purely decorative shutters) shall be used.
- (5) Storefronts. Storefronts shall fit inside the original shop front in terms of all three dimensions (vertical, horizontal and front to back articulation).
 - (a) Display windows shall be restored to their original appearance.
 - (b) The configuration of display windows shall be substantially similar to the original configuration. This provision shall be construed to prohibit garage doors and bay windows when they were not part of the original building design.

Figure 300-7.50d

Storefronts

The following Code does not display images or complicated formatting. Codes should be viewed online. This tool is only meant for editing.

**§ 385-25 Architectural design review.
[Added by Ord. No. 97-8]**

A. Developments requiring design review:

- (1) Site and structural development of residential projects having four or more dwelling units.
- (2) Site and structural development in business districts.
- (3) Site and structural development in industrial districts.
- (4) Site and structural development in planned development districts.
- (5) Utility and governmental facilities.
- (6) Those variance cases deemed by the Board of Zoning Appeals to justify design review. Design review shall be advisory to the Board.
- (7) Any parking area, even if not accompanying an otherwise included development, if it has 50 or more parking spaces.
- (8) In addition, design review districts may be designated by ordinance adopted by the Council. Once adopted, design review standards shall apply to such districts within the terms of such designation ordinance.

B. Administration of design review.

- (1) The Clerk-Treasurer shall advise applicants when they apply for zoning permits or other approvals whether design review applies. If design review applies, the applicant shall be given checklists, application forms and timetables. These documents shall have prior Plan Commission approval as to format and content. This application form shall note that a fee as stated in the City of Waterloo Fee Schedule must accompany the application. Applicants may request and have preapplication conferences with staff. **[Amended 11-17-2005 by Ord. No. 2005-4]**
- (2) Completed applications and supporting materials shall be reviewed by staff prior to placement on the Plan Commission agenda. Staff must be satisfied that a complete packet of information will be available to the Plan Commission prior to the commencement of the Commission meeting at which the item is set for decision review.
- (3) The Plan Commission shall review applications set for design review. Following such review, discussions with applicants and agents, and discussion within the Plan Commission and with staff, the Commission shall render a decision of approval, conditional approval or rejection. Decisions shall be in writing and shall identify those elements of the approved design which the Commission intends to be mandatory. The Clerk-Treasurer shall have applicants sign acknowledgments of receipt of the written Plan Commission design review decision prior to issuance of a zoning/building permit.
- (4) A project that has had design review and that has a zoning/building permit is approved for execution only in accordance with the directives included in the design approval. Construction or execution that deviates from directives may not occur within the terms of this section without prior City approval. The Clerk-Treasurer is responsible for determining whether to give staff approval to such deviations on a finding that they are minor variations as to the Plan Commission's decision or whether full Plan

Commission review and approval are needed upon a finding that the deviations are major.

C. Design review standards.

- (1) Jurisdictions. Design review applies to exterior structural and design features, landscaping and site planning.
- (2) Directives. The following specific design standards are established and are intended to be applied in the informed judgment of the Plan Commission:
 - (a) The land forms and landscape shall be preserved in their natural state, insofar as practicable, by minimizing soil and tree removal that is not essential to project development and by retaining grades and contours in keeping with the general appearance of neighboring developed areas.
 - (b) Building masses and long, straight building fronts and sides (relative to the overall length of the building) that are visually accessible shall be broken up and made more variegated with staggerings and offsets, with landscaping or surficial features or with accumulation of mass in the form of smaller related units. This is a directive standard as to residential and commercial structures and those industrial structures that are visually accessible to larger volumes of traffic and a recommendatory standard to industrial buildings within the center core of industrial districts.
 - (c) Within residential properties, parking areas that are located in front of street-side yards shall have landscape screening and/or screening by fencing having decorative character to soften views of parked vehicles. All design reviewed parking lots shall have decorative landscape treatment at the perimeter of the lot and, for larger lots, in island areas within the lot, to provide breakup of the expanse of paving.
 - (d) Rooftop mechanical equipment that will be readily visible when viewed from ground level from other properties or from major public ways should be softened by screening or covered in a manner that forms an integral part of the building design.
 - (e) External garbage or refuse containers shall be screened by walls, fences, berms or effective landscaping, or combinations thereof.
 - (f) Landscaping. Each project subject to design review shall provide landscaping of sufficient height and density to accomplish positive visual impact within three years from the time of planting.
 - (g) All developments and occupancies subject to design review shall plan and construct so that surface drainage positively drains from structures and so that compliance is achieved with the erosion control and stormwater drainage requirements of this Code.
 - (h) The following principles of landscape design are stated as guides to be applied with discretion by the Plan Commission, taking into account how visible the site is to public view, sensitivity of neighboring properties and the cost considerations. Parks Commission preferences on species shall be made available in writing to project applicants.
 - [1] Overhead canopy trees contribute to a pattern within the neighborhood and streetscape focus plants (trees or shrubs) accomplish screening of less attractive elements, afford privacy, noise control and windbreak, soften transitions from vertical to horizontal features and create visual focal points.
 - [2] Ground plane plants (lawn, ground cover, etc.) provide lower level continuity and retard soil erosion.
 - [3] Terraces, trellises, walks, drives, garden walls and berms and related elements increase variety.
 - (i) Storage of materials, fuel, scrap, inoperative vehicles and similar objects in places that are readily visible from major public rights-of-way or parts of neighboring properties where a significant amount of

viewing is expected shall be minimized and, where necessary, shall be reasonably screened. Where other portions of this section establish more stringent standards, the other portions shall govern.

- (j) Exterior lighting, when used, shall be established, directed and maintained so as not to be cast directly on public rights-of-way or occupied structures or neighboring properties or be lighted in intensity or colors seriously disturbing to neighboring properties.
- D. Recommendations. Other features of site design and construction, building and structural design and construction and landscaping that are not listed under directives may also be addressed by Plan Commission advisory suggestions within the design review process upon a finding that the suggestion would be desirable to make the development a positive asset to the visual appearance of the community and positive contribution to the growth and stability of the community tax base.

**CITY OF WATERLOO
PLAN COMMISSION APPLICATION
ARCHITECTURAL DESIGN REVIEW**

Date 4-13-23

The following information must be submitted one week prior to any Plan Commission meeting for staff review and agenda placement. The Plan Commission meets the 4th Tuesday of each month at 7:00 PM in the Council Chambers of City Hall, 136 North Monroe Street, Waterloo, WI 53594. In addition to this form, required fee, and three (3) sets of plans, the attached Checklist is required to be submitted two weeks in advance.

Project Address 703 W MADISON ST. WATERLOO, WI 53594

Applicant Name VAN HOLTEN'S Phone 920-478-2144

Address SAME AS ABOVE

Owner Name STEVE BYRNES Phone 920-478-2144

Address _____

Describe Project 4,380 SQ/FT BRINE RECYCLE BUILDING AND
4,922 SQ/FT HOLDING TANK ADDITION.

Zoning _____ Conforming Use _____

Date Received _____ Hearing Date _____

Fee _____ Received By _____



APPLICANT SIGNATURE

PLAN REQUIREMENTS LIST FOR ALL REVIEWS AND COMMENTS:

Three (3) sets of plans, with all information as listed on the Checklist

If applicable:

- Sign
- Timetable
- Pictures

PLAN SUBMITTAL CHECKLIST

Project: VAN HOLTEN'S ADDITION

Submitted by: GREGG GIERK

Date submitted: 4.13.23

NOTE: Please include each applicable item listed below with all formal plan submittals. All boxes should be checked. Mark "N/A" if the item does not apply. Nine copies of the plans must be submitted with this checklist as a single package no later than 4:30 pm, Tuesday, one week prior to presentation at Plan Commission.

- 1. Show existing and proposed contours at an interval suitable to the topography and project. Contours should extend a minimum of 20' beyond property lines and nearby berms and swales and at least to the backs of curbs.
- 2. Show square footage of:
 - a. Lot or parcel
 - b. Existing impervious surface
 - c. Proposed total impervious
 - d. Existing building
 - e. Proposed total building
 - f. Existing parking and pavement
 - g. Proposed total parking and pavement.
- 3. Show all relevant dimensions including:
 - a. Buildings
 - b. Parking stalls
 - c. Driveway widths
 - d. Setbacks to buildings and other improvements
 - e. Parking lot aisles, turnarounds, turning radii, etc.
 - f. Distance from driveway to street corner if under 200'
 - g. Sidewalk, walkway and handicap ramp widths and locations with respect to street and right-of-way
 - h. Widths of abutting R.O.W.'s, roadways, and terraces.
- 4. Show dimensions and bearings of property lines.
- 5. Show North Arrow and scale of drawing.
- 6. Show City bench mark location and elevation to NGS datum.
- 7. Show all existing and proposed surface materials (grass, bituminous, concrete, etc.)

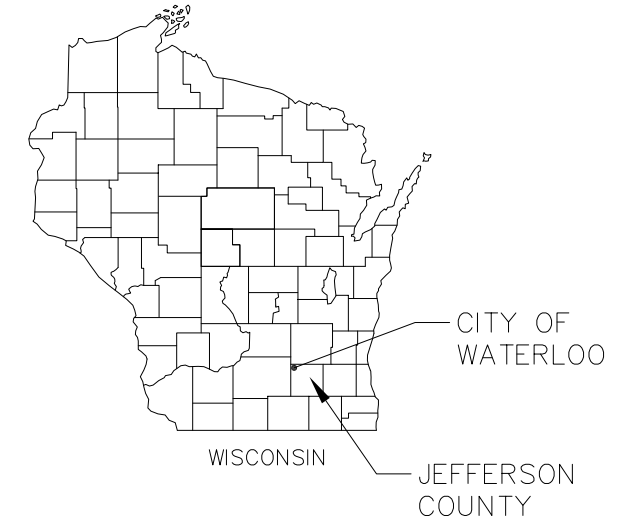
- N/A 8. Show total number of required and proposed parking stalls.
- N/A 9. Show handicap parking stall and ramp locations.
- N/A 10. Show up or down arrows on loading or other ramps.
- N/A 11. Show existing, proposed, & adjoining driveway approaches.
- N/A 12. Show removal and replacement to City Specifications of concrete curb and gutter for all new curb cuts or as otherwise required.
- 13. Show rim and invert elevations of all drainage structures.
- N/A 14. Design surface drainage to bypass dumpster locations.
- 15. Indicate proposed direction of roof drainage and show location of all roof gutter downspouts.
- 16. Show all existing and proposed public and private utility locations on and adjacent to site.
- 17. Show location of nearest existing fire hydrants and proposed City and private fire hydrants.
- N/A 18. Show location and screening of refuse containers.
- N/A 19. Show how recyclable materials will be handled.
- N/A 20. Show proposed lighting for site including location, pole height, luminaire type and manufacturer's specifications.
- 21. Provide drawings of proposed building with elevation views showing proposed materials and colors.
- 22. Include elevation view of rooftop mechanicals and required screening design, materials, and colors.
- N/A 23. Include statement of historical landmark designation status.
- ~~N/A~~ 24. Include name of designer, P.E. stamp and signature on final plans.
- 25. Include Erosion Control Plan. Include note on plan stating: "Additional erosion control measures will be installed as needed."
- 26. Include Landscape Plan.

VAN HOLTEN'S BUILDING ADDITION

CITY OF WATERLOO
JEFFERSON COUNTY, WISCONSIN



vierbicher
planners | engineers | advisors



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	NOTES & LEGENDS
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	SITE & UTILITY PLAN
5	GRADING & EROSION CONTROL PLAN
6	DETAILS

TITLE SHEET

VAN HOLTEN'S BUILDING ADDITION
CITY OF WATERLOO
JEFFERSON COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE	3/24/2023
DRAFTER	BBAR
CHECKED	----
PROJECT NO.	220224
SHEET	1 OF 6

NOT FOR CONSTRUCTION

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
EXISTING CURB INLET
EXISTING ENDWALL
EXISTING ROOF DRAIN
EXISTING STORM MANHOLE
EXISTING GAS METER
EXISTING TRANSFORMER
EXISTING GENERIC LIGHT
EXISTING TV PEDESTAL
EXISTING TELEPHONE PEDESTAL
EXISTING SHRUB
EXISTING CONIFEROUS TREE
EXISTING DECIDUOUS TREE

SITE PLAN LEGEND

- PROPERTY BOUNDARY
CURB AND GUTTER (REVERSE CURB HATCHED)
PROPOSED CHAIN LINK FENCE
PROPOSED WOOD FENCE
PROPOSED CONCRETE
PROPOSED LIGHT-DUTY ASPHALT
PROPOSED HEAVY-DUTY ASPHALT

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
STORM SEWER MANHOLE
STORM SEWER ENDWALL
ROOF DRAIN CLEANOUT

TOPOGRAPHIC LINework LEGEND

- EXISTING UNDERGROUND CABLE TV
EXISTING UNDERGROUND TELEPHONE
EXISTING RETAINING WALL
EXISTING CHAIN LINK FENCE
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC LINE
EXISTING STORM SEWER LINE (SIZE NOTED)
EXISTING EDGE OF TREES
EXISTING WETLAND DELINEATION
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EXISTING EDGE OF PAVEMENT
EXISTING EDGE OF GRAVEL
EXISTING WETLANDS
EXISTING GRAVEL SURFACE
EXISTING CONCRETE SURFACE
EXISTING ASPHALT SURFACE

GRADING LEGEND

- EXISTING MAJOR CONTOURS
EXISTING MINOR CONTOURS
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
DITCH CENTERLINE
SILT FENCE
DISTURBED LIMITS
DRAINAGE DIRECTION
PROPOSED SLOPE ARROWS
EXISTING SPOT ELEVATIONS
PROPOSED SPOT ELEVATIONS

- INLET PROTECTION
EROSION MAT CLASS I, TYPE A
EROSION MAT CLASS II, TYPE B
EROSION MAT CLASS III, TYPE C
EROSION MAT CLASS II, TYPE A
TRACKING PAD
RIP RAP

ABBREVIATIONS table with symbols for TC, FF, FL, SW, TW, BW.

ABBREVIATIONS table with symbols for STMH, FI, CI, CB, EW, SMH.

DEMOLITION PLAN LEGEND

- CONCRETE REMOVAL
BUILDING REMOVAL
TREE REMOVAL
UTILITY STRUCTURE REMOVAL
UTILITY LINE REMOVAL

DEMOLITION NOTES:

- CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC.

SITE PLAN NOTES:

- CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.

GRADING NOTES:

- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
CROSS SLOPE OF SIDEWALKS SHALL BE 2.0% UNLESS OTHERWISE NOTED.

UTILITY NOTES:

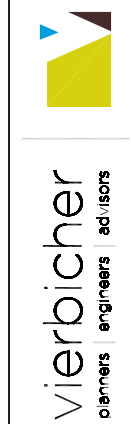
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.

EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY/VILLAGE/TOWN/COUNTY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (http://dnr.wi.gov/runoff/stormwater/techstds.htm) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.

GENERAL NOTES:

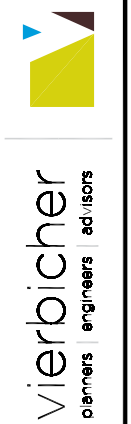
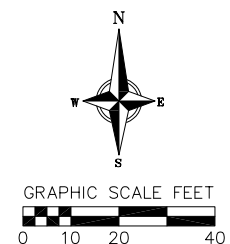
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.



NOTES & LEGENDS
VAN HOLTEN'S BUILDING ADDITION
CITY OF WATERLOO
JEFFERSON COUNTY, WISCONSIN

Table with columns for REVISIONS (NO., DATE, REMARKS) and DATE (3/24/2023). Includes fields for DRAFTER (BBAR), CHECKED, PROJECT NO. (220224), SHEET (2 OF 6).

NOT FOR CONSTRUCTION



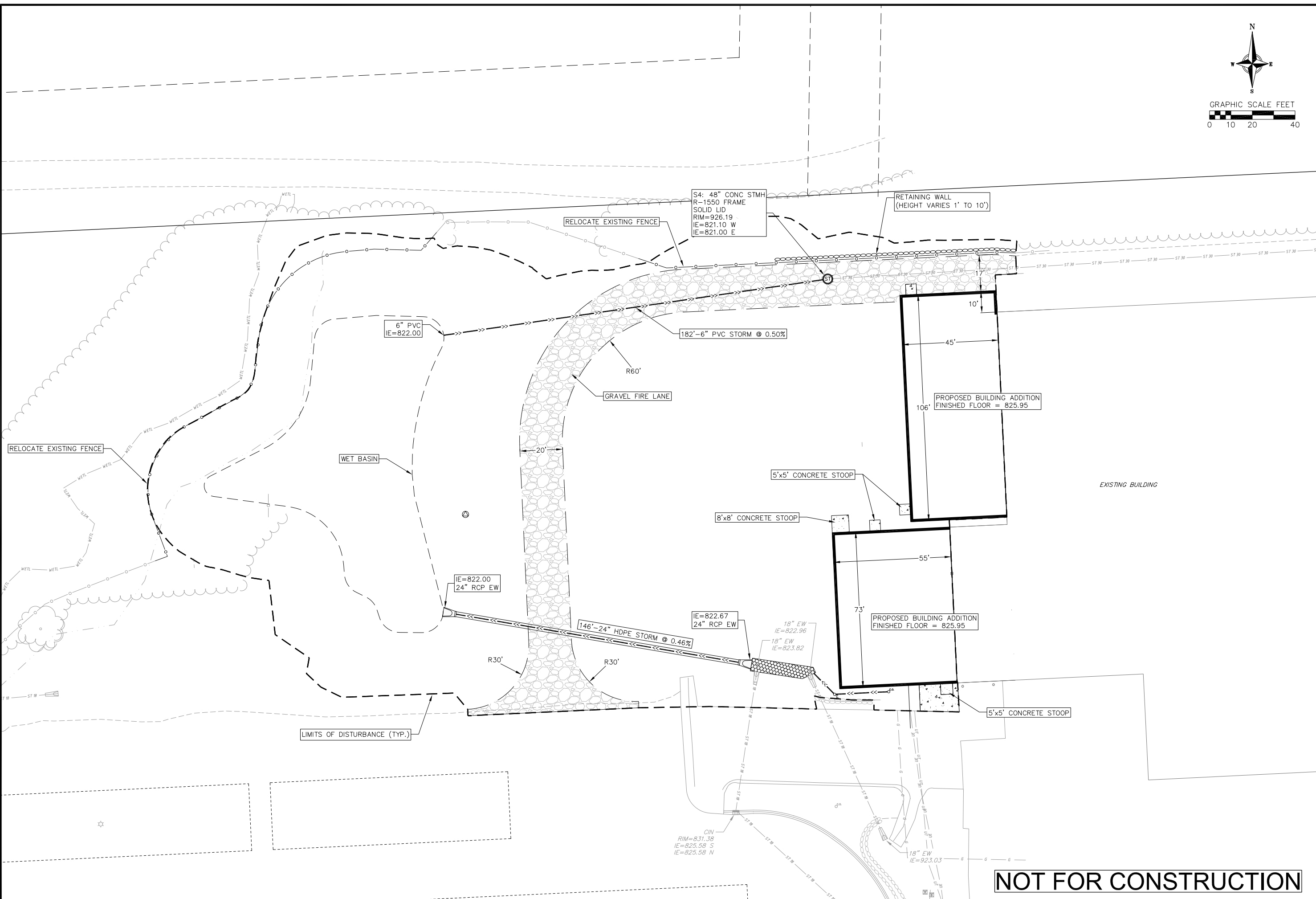
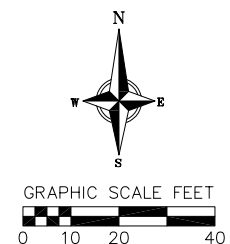
EXISTING CONDITIONS & DEMOLITION PLAN

VAN HOLLEN'S BUILDING ADDITION
CITY OF WATERLOO
JEFFERSON COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE	3/24/2023
DRAFTER	BBAR
CHECKED	
PROJECT NO.	220224
SHEET	3 OF 6

NOT FOR CONSTRUCTION

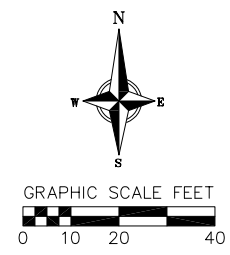
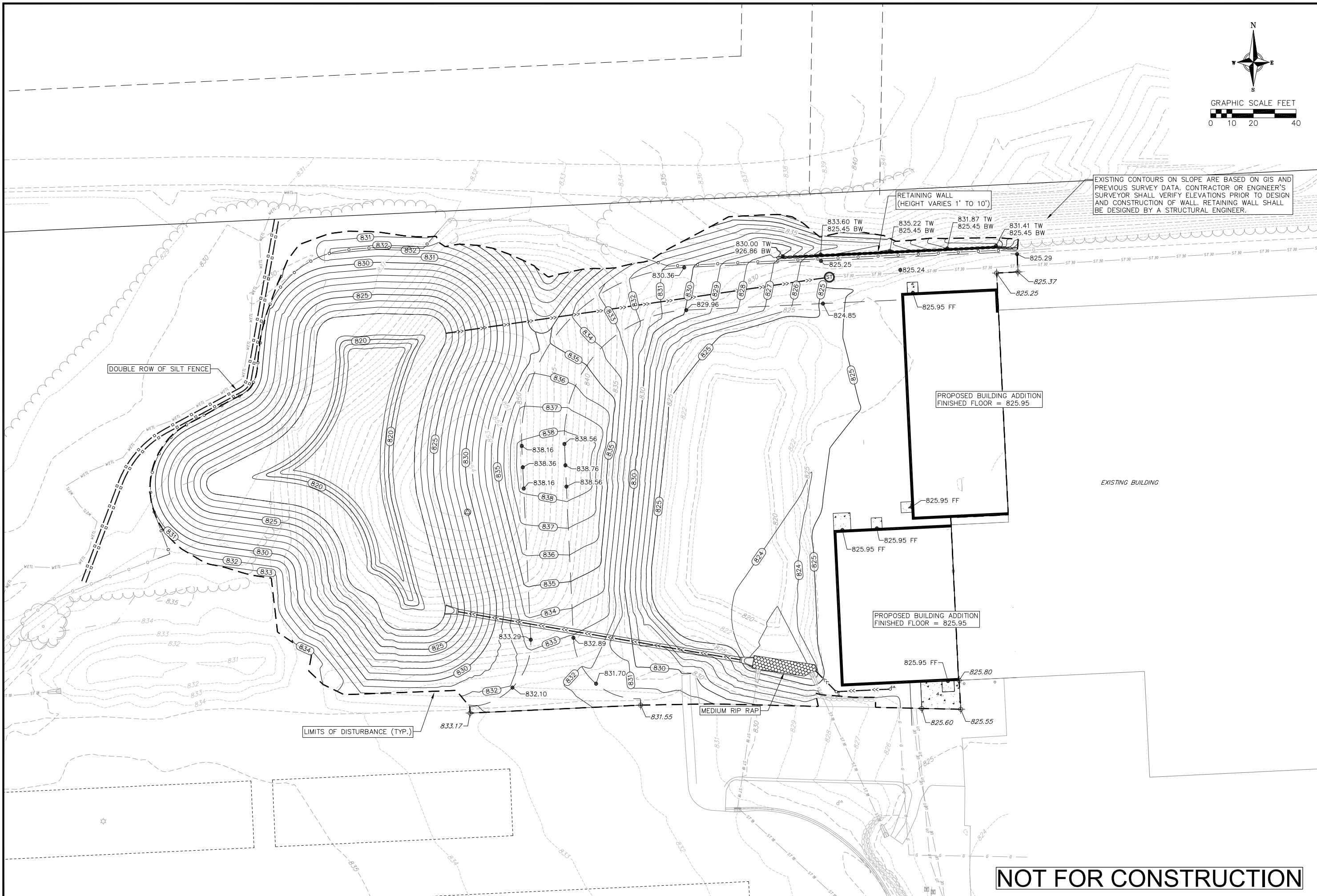


SITE & UTILITY PLAN
VAN HOLTEN'S BUILDING ADDITION
CITY OF WATERLOO
JEFFERSON COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 3/24/2023
 DRAFTER: BBAR
 CHECKED: ---
 PROJECT NO.: 220224
 SHEET: 4 OF 6

NOT FOR CONSTRUCTION

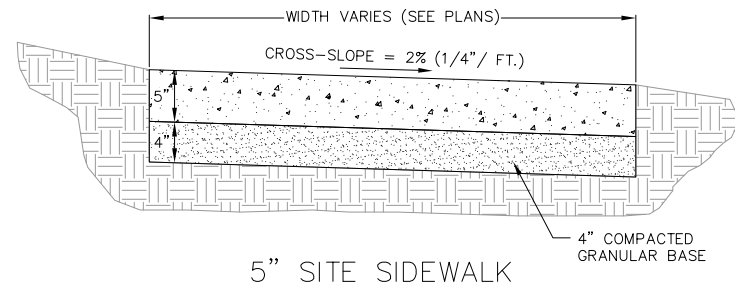


GRADING & EROSION CONTROL PLAN
VAN HOLTEN'S BUILDING ADDITION
CITY OF WATERLOO
JEFFERSON COUNTY, WISCONSIN

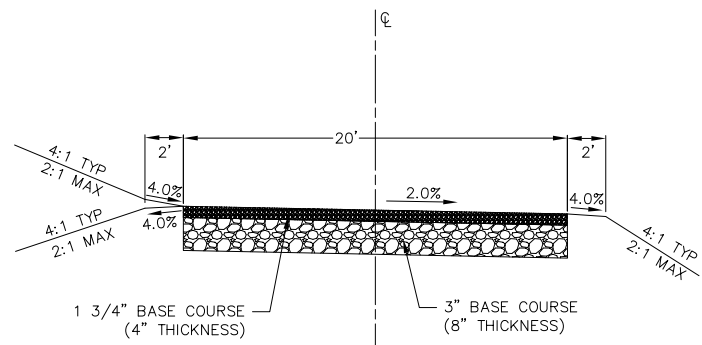
NO.	DATE	REVISIONS	
		NO.	REMARKS

DATE: 3/24/2023
 DRAFTER: BBAR
 CHECKED: ---
 PROJECT NO.: 220224
 SHEET: 5 OF 6

NOT FOR CONSTRUCTION



1 5" SIDEWALK
1 NOT TO SCALE



1 FIRE LANE TYPICAL SECTION
1 NOT TO SCALE

SEEDING RATES:

TEMPORARY:

- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
- USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

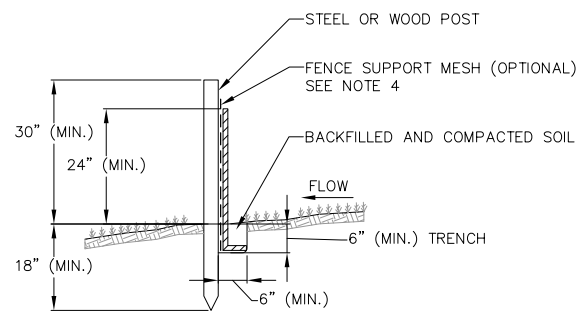
TEMPORARY AND PERMANENT:

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:

USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



NOTES:

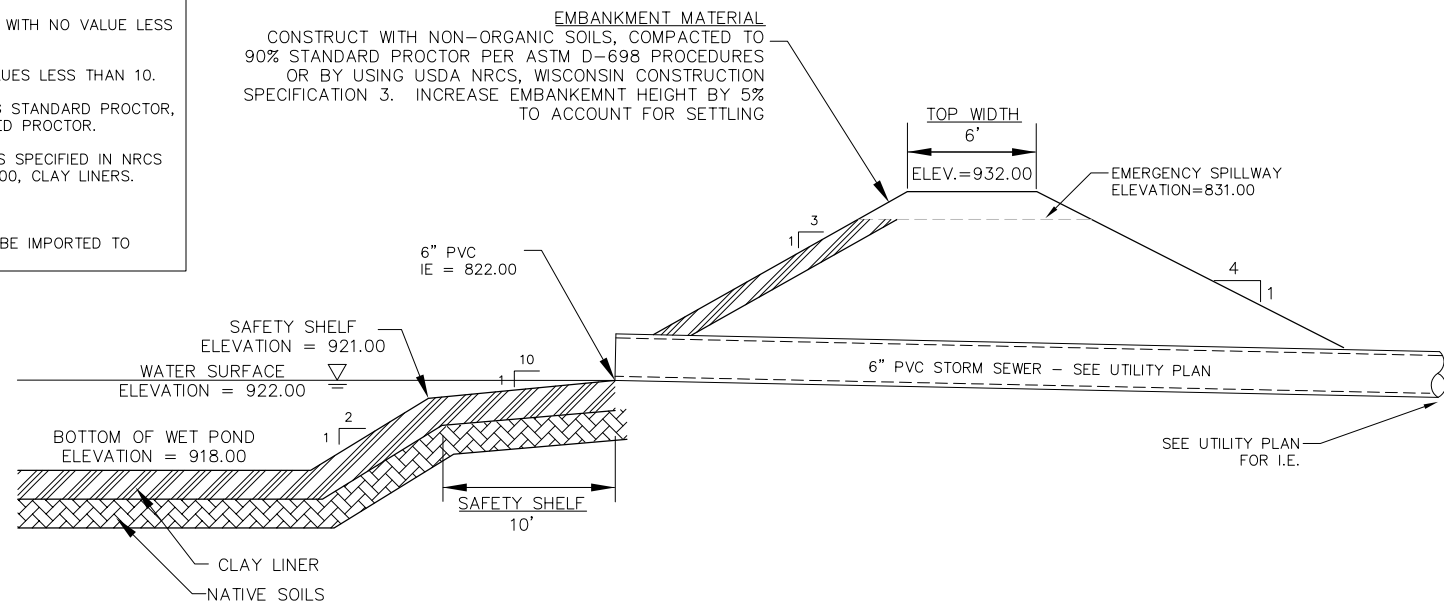
- INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
- CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
- POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
- SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

1 SILT FENCE
1 NOT TO SCALE

CLAY LINER CRITERIA

- 50% FINES (200 SIEVE) OR MORE.
- AN IN-PLACE HYDRAULIC CONDUCTIVITY OF 1 X 10⁻⁷ CM/SEC. OR LESS.
- AVERAGE LIQUID LIMIT OF 25 OR GREATER, WITH NO VALUE LESS THAN 20.
- AVERAGE PI OF 12 OR MORE, WITH NO VALUES LESS THAN 10.
- CLAY INSTALLED WET OF OPTIMUM IF USING STANDARD PROCTOR, AND 2% WET OF OPTIMUM IF USING MODIFIED PROCTOR.
- CLAY COMPACTION AND DOCUMENTATION AS SPECIFIED IN NRCS WISCONSIN CONSTRUCTION SPECIFICATION 300, CLAY LINERS.
- MINIMUM THICKNESS OF TWO FEET.

CONTRACTOR TO PROVIDE SAMPLE OF CLAY TO BE IMPORTED TO VERIFY IT MEETS THE STATED REQUIREMENTS.



1 WET POND R FACILITY CROSS-SECTION
1 NOT TO SCALE

NOT FOR CONSTRUCTION



vierbicher
planners | engineers | advisors

DETAILS
VAN HOLTEN'S BUILDING ADDITION
CITY OF WATERLOO
JEFFERSON COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS

DATE: 3/24/2023
DRAFTER: BBAR
CHECKED: ---
PROJECT NO.: 220224
SHEET



April 11, 2023

Gregg Geier
Van Holtens Site
703 W Madison St
Waterloo WI 53594
Via email: ggeier@vanholtenpickles.com

Re: Coverage Under WPDES General Permit No. WI-S067831-06: **Construction Site Storm Water Runoff**
Permittee Name: **Van Holtens Site**
Site Name: **2023 Van Holten's Building Addition**
WDNR FIN: **87637**

Dear Gregg Geier:

The Wisconsin Department of Natural Resources received your Water Resources Application for Project Permits or Notice of Intent, on April 04, 2023, for the **2023 Van Holten's Building Addition** site and has evaluated the information provided regarding storm water discharges from your construction site. We have determined that your construction site activities will be regulated under ch. 283, Wis. Stats., ch. NR 216, Wis. Adm. Code, and in accordance with Wisconsin Pollutant Discharge Elimination System (WPDES) General Permit No. WI-S067831-06, Construction Site Storm Water Runoff. All erosion control and storm water management activities undertaken at the site must be done in accordance with the terms and conditions of the general permit.

The **Start Date** of permit coverage for this site is **April 11, 2023**. The maximum period of permit coverage for this site is limited to **3 years** from the **Start Date**. Therefore, permit coverage automatically expires and terminates 3 years from the Start Date and storm water discharges are no longer authorized unless another Notice of Intent and application fee to retain coverage under this permit or a reissued version of this permit is submitted to the Department 14 working days prior to expiration.

A copy of the general permit along with extensive storm water information including technical standards, forms, guidance and other documents is accessible on the Department's storm water program Internet site. To obtain a copy of the general permit, please download it and the associated documents listed below from the following Department Internet site:
<http://dnr.wi.gov/topic/stormwater/construction/forms.html>

- Construction Site Storm Water Runoff WPDES general permit No. WI-S067831-06
- Construction site inspection report form
- Notice of Termination form

If, for any reason, you are unable to access these documents over the Internet, please contact me and I will send them to you.

To ensure compliance with the general permit, please read it carefully and be sure you understand its contents. Please take special note of the following requirements (This is not a complete list of the terms and conditions of the general permit.):

1. The Construction Site Erosion Control Plan and Storm Water Management Plan that you completed prior to submitting your permit application must be implemented and maintained throughout construction. Failure to do so may result in enforcement action by the Department.

2. The general permit requires that erosion and sediment controls be routinely inspected at least every 7 days, and within 24 hours after a rainfall event of 0.5 inches or greater. Weekly written reports of all inspections must be maintained. The reports must contain the following information:

- a. Date, time, and exact place of inspection;
- b. Name(s) of individual(s) performing inspection;
- c. An assessment of the condition of erosion and sediment controls;
- d. A description of any erosion and sediment control implementation and maintenance performed;
- e. A description of the site's present phase of construction.

3. A **Certificate of Permit Coverage** must be posted in a conspicuous place on the construction site. The Certificate of Permit Coverage (WDNR Publication # WT-813) is enclosed for your use.

4. When construction activities have ceased and the site has undergone final stabilization, a Notice of Termination (NOT) of coverage under the general permit must be submitted to the Department.

It is important that you read and understand the terms and conditions of the general permit because they have the force of law and apply to you. Your project may lose its permit coverage if you do not comply with its terms and conditions. The Department may also withdraw your project from coverage under the general permit and require that you obtain an individual WPDES permit instead, based on the Department's own motion, upon the filing of a written petition by any person, or upon your request.

If you believe that you have a right to challenge this decision to grant permit coverage, you should know that the Wisconsin statutes and administrative rules establish time periods within which requests to review Department decisions must be filed. For judicial review of a decision pursuant to ss. 227.52 and 227.53, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to file your petition with the appropriate circuit court and serve the petition on the Department. Such a petition for judicial review must name the Department of Natural Resources as the respondent.

To request a contested case hearing pursuant to s. 227.42, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to serve a petition for hearing on the Secretary of the Department of Natural Resources. All requests for contested case hearings must be made in accordance with s. NR 2.05(5), Wis. Adm. Code, and served on the Secretary in accordance with s. NR 2.03, Wis. Adm. Code. The filing of a request for a contested case hearing is not a prerequisite for judicial review and does not extend the 30-day period for filing a petition for judicial review.

Thank you for your cooperation with the Construction Site Storm Water Discharge Permit Program. If you have any questions concerning the contents of this letter or the general permit, please contact me at (608) 333-6579.

Sincerely,



E. Dan Bekta, P.E.
South Central Region
Storm Water Program

ENCLOSURE: Certificate of Permit Coverage



CERTIFICATE OF PERMIT COVERAGE

UNDER THE
WPDES CONSTRUCTION SITE STORM WATER RUNOFF PERMIT
Permit No. WI-S067831-06

Under s. NR 216.455(2), Wis. Adm. Code, landowners of construction sites with storm water discharges regulated by the Wisconsin Department of Natural Resources (WDNR) Storm Water Permit Program are required to post this certificate in a conspicuous place at the construction site. This certifies that the site has been granted WDNR storm water permit coverage. The landowner must implement and maintain erosion control practices to limit sediment-contaminated runoff to waters of the state in accordance with the permit.

EROSION CONTROL COMPLAINTS

should be reported to the WDNR Tip Line at
1-800-TIP-WDNR (1-800-847-9367)

Please provide the following information to the Tip Line:

WDNR Site No. (FIN): 87637

Site Name: 2023 Van Holten's Building Addition

Address/Location: 703 West Madison Street City of WATERLOO

Additional Information:

Landowner: Van Holtens Site

Landowner's Contact Person: Gregg Geier

Contact Telephone Number: (920) 478-2144

Permit Start Date: April 11, 2023

By: E. D. Bekt

VAN HOLTEN'S PICKLES

703 WEST MADISON STREET
WATERLOO, WI 53594

PROJECT DATA

LOCATION:
703 WEST MADISON STREET
WATERLOO, WI 53594

REGULATING MUNICIPALITIES:
CITY OF WATERLOO
JEFFERSON COUNTY
STATE OF WISCONSIN

BUILDING CODE:
CITY OF WATERLOO ZONING ORDINANCES
WISCONSIN ADMINISTRATIVE CODE
2015 INTERNATIONAL BUILDING CODE
ACCESSIBILITY ANSI A117.1 - 2009

PROJECT DESCRIPTION:
NEW BUILDING ADDITION CONSISTING OF MANUFACTURING AND
PROCESSING SPACE FOR FOOD PRODUCTION

OCCUPANCY TYPE:
PRIMARY: S-2 (BUSINESS OCC. <10% OF BUILDING AREA)
SECONDARY: F-1

CONSTRUCTION TYPE: IIB

ALLOWABLE BUILDING AREA & HEIGHT:
MAXIMUM HEIGHT ABOVE GRADE PLANE = 75 FEET
(IBC TABLE 504.3)
MAXIMUM STORIES ALLOWED (IBC TABLE 504.4) = 3 STORIES
AREA ALLOWED PER FLOOR (IBC TABLE 506.2) = 62,000 SF
AREA MODIFICATIONS (IBC SECTION 506) = 46,500 SF
TOTAL MAXIMUM ALLOWABLE AREA PER FLOOR = 108,500 SF

ACTUAL BUILDING AREA & HEIGHT:
HEIGHT ABOVE GRADE PLANE = 24 FEET
STORIES ABOVE GRADE PLANE = 1 STORIES
(NEW) BUILDING FLOOR AREA = 61,438 SF

AREA AND LEVEL OF ALTERATION:
AREA OF ALTERATION = 10,479 SF
PERCENTAGE OF TOTAL BUILDING AREA = 17.1 %
LEVEL OF ALTERATION = LEVEL 3

NUMBER OF OCCUPANTS (TABLE 1004.1.2):
F-1 OCCUPANCY = 28,021 SF / 100 GROSS = 261 OCC
S-2 OCCUPANCY = 35,961 SF / 500 GROSS = 71 OCC
TOTAL OCCUPANTS = 332 OCC

PLUMBING:

SPACE	LOAD	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	SERVICE SINK
		MALE	FEMALE	MALE	FEMALE		
F-1 & F-2	261	1.31	1.31	1.31	1.31	0.65	1
S-1 & S-2	71	0.36	0.36	0.36	0.36	0.01	1
SUBTOTALS	332	1.66	1.66	1.66	1.66	0.66	2.00
REQ'D TOTALS		2	2	2	2	1	2
TOTAL PROVIDED		4	4	2	2	2	2

ALL FIXTURES TO COMPLY WITH ICC A117.1

FIRE CONTROL:

FULLY SPRINKLERED BUILDING: NFPA 13
PORTABLE FIRE EXTINGUISHERS (IBC SECTION 906.3.1)
HAZARD TYPE = LOW
MAXIMUM AREA = 3,000 SF PER 'A'
MAXIMUM DISTANCE (TYPE A) = 50 FEET
EXTINGUISHER RATING = 2-A:10-B
NUMBER REQUIRED AT ABOVE RATING = 8 (4 PER ADDITION)

EXITS:

EXIT(S) REQUIRED TO MEET EXITING DISTANCES = 4 (2 PER ADDITION)
EXIT(S) PROVIDED TO MEET DISTANCES = 4
MIN 60% OF PUBLIC EXTERIOR DOORS TO BE ON ACCESSIBLE ROUTE

ACCESSIBILITY:

FOLLOW IBC 2015 AND ANSI 117.1 (2009)

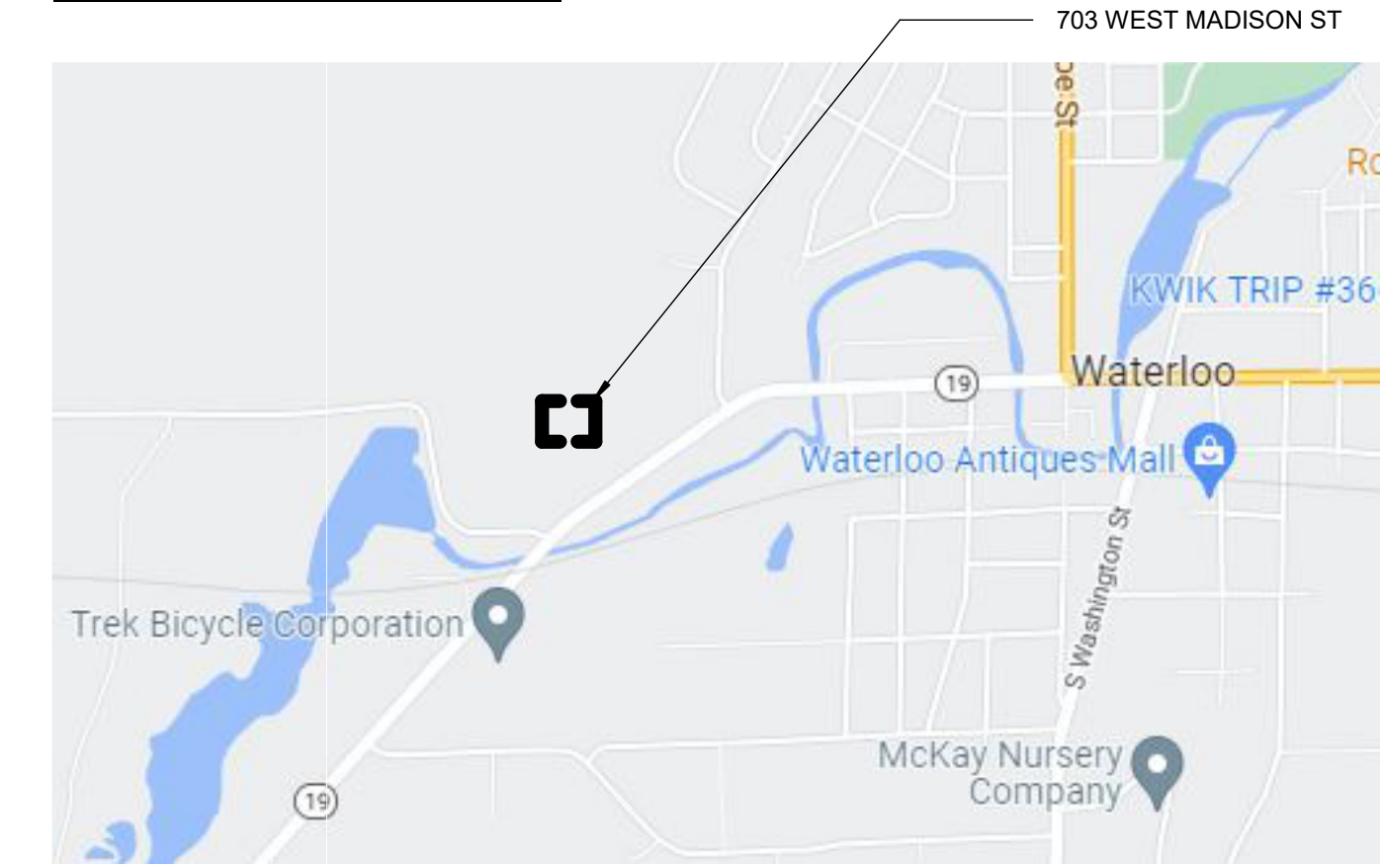
PROJECT GENERAL NOTES:

- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES OR CONFLICTING INFORMATION IN THESE DOCUMENTS. CONTRACTOR SHALL CAREFULLY REVIEW AND COMPARE ALL DRAWINGS DURING THE BIDDING PERIOD AND BEFORE INSTALLATION OF THEIR WORK. ANY INCONSISTENCIES IN THE DRAWINGS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT AND ENGINEER(S) FOR CLARIFICATION.
- DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE - USE GIVEN DIMENSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED EXISTING SITE CONDITIONS AFFECTING THE EXECUTION OF THESE DOCUMENTS (SUCH AS HAZARDOUS MATERIALS, ETC.).
- CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS GOVERNING THIS PROJECT.
- JOB SITE SHALL BE BROOM SWEEP AND CLEAN AT THE END OF EACH DAY. ALL DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY INTO APPROVED CONTAINER.
- MAINTAIN DESIGNATED EGRESS ROUTES DURING CONSTRUCTION BY KEEPING CLEAR OF CONSTRUCTION DEBRIS AND CLEARLY MARKING THE PATH OF EGRESS TRAVEL.
- ALL MECHANICAL (HVAC), ELECTRICAL, PLUMBING AND FIRE PROTECTION (MEP & FP) DESIGN AND CONSTRUCTION TO BE BY A DESIGN-BUILD DELIVERY METHOD AND ARE SUBSEQUENTLY NOT PART OF THESE DOCUMENTS. IT IS THE MEP CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE GENERAL CONTRACTOR AND WITH THESE DRAWINGS THE FINAL DESIGN, RETROFIT AND INSTALLATION OF THESE SYSTEMS. NOTIFY THE ARCHITECT PRIOR TO MAKING ANY REVISIONS TO THE STRUCTURE OR ARCHITECTURAL FEATURES.
- HVAC CONTRACTOR SHALL SUBMIT PROPER DESIGN DRAWINGS AS NEEDED FOR PLAN APPROVAL AND BUILDING PERMITS.
- WITHIN THIS DOCUMENT "NORTH, SOUTH, EAST, WEST" ARE REFERRED TO AS PROJECT NORTH AND MAY NOT BE TRUE NORTH.
- ALL EXPOSED WOOD AND/OR WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- PROVIDE GFI OUTLETS NEAR WATER SOURCES AND AS REQUIRED BY IEC.
- PROVIDE FIRE BLOCKING AND DRAFTSTOPPING THROUGHOUT BUILDING PER IBC CHAPTER 7.
- SUBMIT ALL FIXTURES, APPLIANCES, MATERIALS, SHOP DRAWINGS, PLAN MODIFICATIONS TO THE ARCHITECT FOR REVIEW AND APPROVAL.
- IN SOME CASES THE SELECTION OF SPECIFIC ACCESSORIES, HARDWARE, MATERIALS OR FINISHES MAY NOT BE AVAILABLE AT ISSUANCE OF THESE DRAWINGS. THESE INSTANCES ARE INDICATED WITH "TBD", OR "TO BE DETERMINED". IN THESE SITUATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING APPROPRIATE ALLOWANCES TO COVER THE MATERIAL AND INSTALLATION FOR THAT ELEMENT, BASED ON THE BEST INFORMATION PROVIDED. IF NO INFORMATION IS PROVIDED, ASSUME A MID-RANGE PRODUCT COST TO SATISFY THE INTENT OF THE PROJECT. THE CONTRACTOR SHALL CLEARLY STATE IN THEIR BID PROPOSAL WHAT THE ALLOWANCE VALUE AND UNIT PRICE IS, LISTED SEPARATELY FOR EACH ITEM.
- IF THE CONTRACTOR ELECTS TO NOT PROVIDE A PRICE FOR ANY ELEMENT CONTAINED IN THESE DOCUMENTS, FOR WHATEVER REASON, THE CONTRACTOR SHALL CLEARLY INDICATE THIS EXCLUSION IN THEIR BID PROPOSAL. IF NO EXCLUSION IS MADE, IT IS THE CONTRACTUAL OBLIGATION OF THE CONTRACTOR TO PROVIDE THE ELEMENT IN ACCORDANCE WITH THE GENERAL INTENT OF THE DRAWINGS.
- IN THE EVENT OF CONTRADICTION OF DOCUMENTS, SPECIFICATIONS SHALL TAKE PRECEDENT. IF A CONTRADICTION REMAINS, OR IF THE SPECIFICATION DOES NOT CLARIFY, THEN THE CONTRACTOR SHALL ASSUME THE MOST EXPENSIVE OF THE MATERIALS AND INSTALLATION WHEN COMPARING THE CONTRADICTORY ITEMS.

SHEET INDEX

SHEET NUMBER	SHEET NAME	REVISIONS	
		MARK	DATE
GENERAL			
G001	COVER SHEET		
G002	FIRE SEPARATION & EGRESS PATH		
CIVIL			
C101	EXISTING CONDITIONS		
C201	SITE PLAN		
C301	GRADING PLAN		
C302	EROSION CONTROL PLAN		
C401	UTILITY PLAN		
LANDSCAPE			
L101	LANDSCAPING PLAN		
STRUCTURAL			
S001	STRUCTURAL NOTES		
S101	OVERALL FOUNDATION PLAN		
S102	ENLARGED FOUNDATION PLAN		
S201	OVERALL FRAMING PLAN		
S202	ENLARGED FRAMING PLAN		
S301	OVERALL ROOF FRAMING PLAN		
S302	ENLARGED ROOF FRAMING PLAN		
S501	FRAMING SECTIONS		
S601	CONCRETE DETAILS		
S701	MASONRY DETAILS		
S801	STEEL DETAILS		
S901	CFS DETAILS		
ARCHITECTURAL GENERAL			
A001	SYMBOLS & ABBREVIATIONS		
A004	CEILING-FLOOR / ROOF ASSEMBLIES		
ARCHITECTURAL			
AD101	DEMOLITION PLAN		
ARCHITECTURAL			
A101	FLOOR PLAN		
A103	REFLECTED CEILING PLAN		
A104	ROOF PLAN		
A201	EXTERIOR ELEVATIONS		
A301	BUILDING SECTIONS		
A302	WALL SECTIONS		
A401	ENLARGED FLOOR PLANS		
A501	PLAN DETAILS		
A502	SECTION DETAILS		
A601	DOOR AND WINDOW SCHEDULES		
ARCHITECTURAL INTERIORS			
AI101	FINISH FLOOR PLAN		
AI102	EQUIPMENT AND FURNITURE PLAN		
AI201	INTERIOR ELEVATIONS		
AI601	INTERIOR SCHEDULES		
AI602	EQUIPMENT AND FURNITURE SCHEDULES		
ELECTRICAL			
ES101	SITE LIGHTING PLAN		

PROJECT LOCATION



BUILDING LOCATION



VAN HOLTEN'S PICKLES
TENANT IMPROVEMENT
703 WEST MADISON STREET
WATERLOO, WI 53594

Project Status

2023.02.27 REVIEW SET

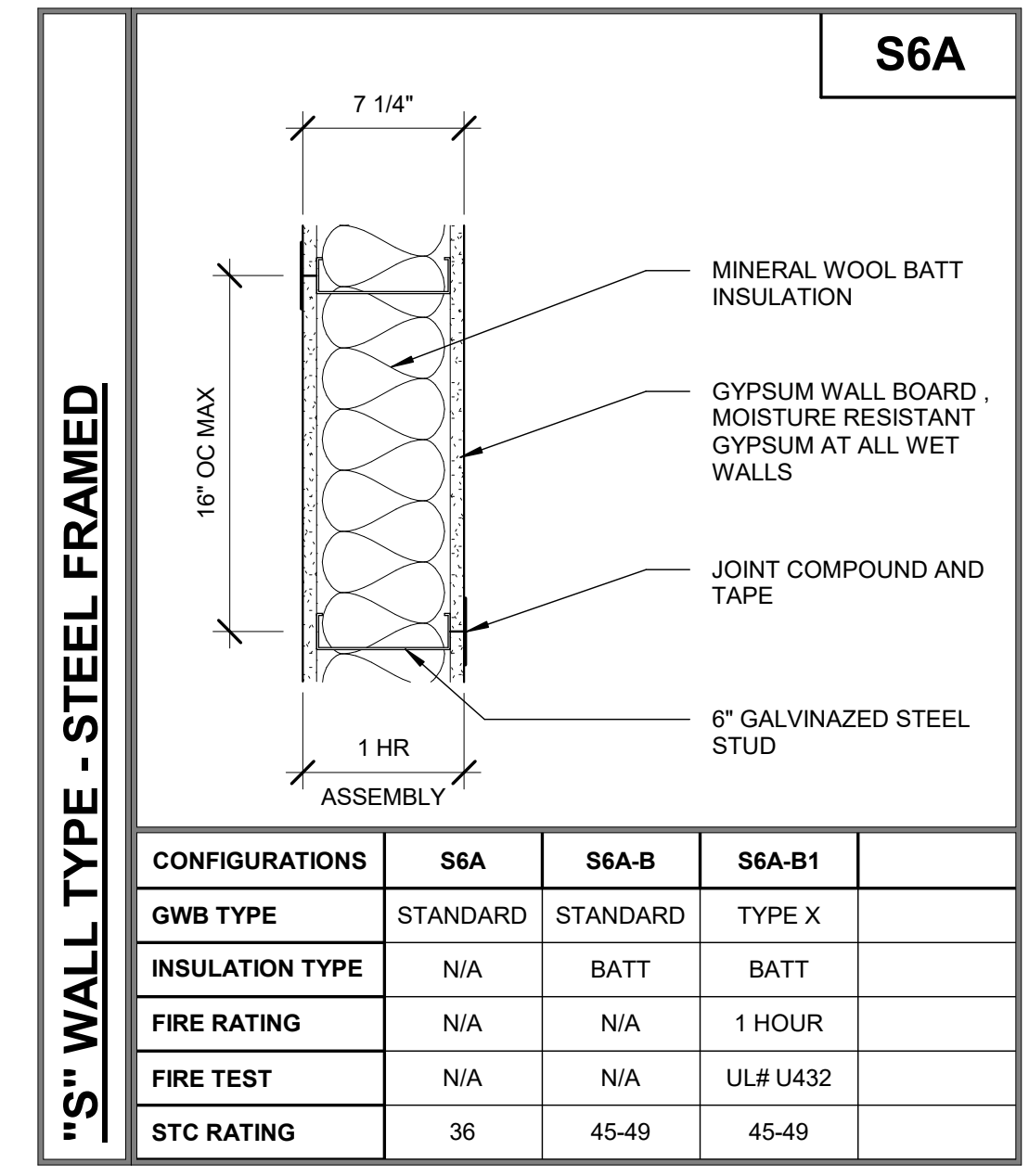
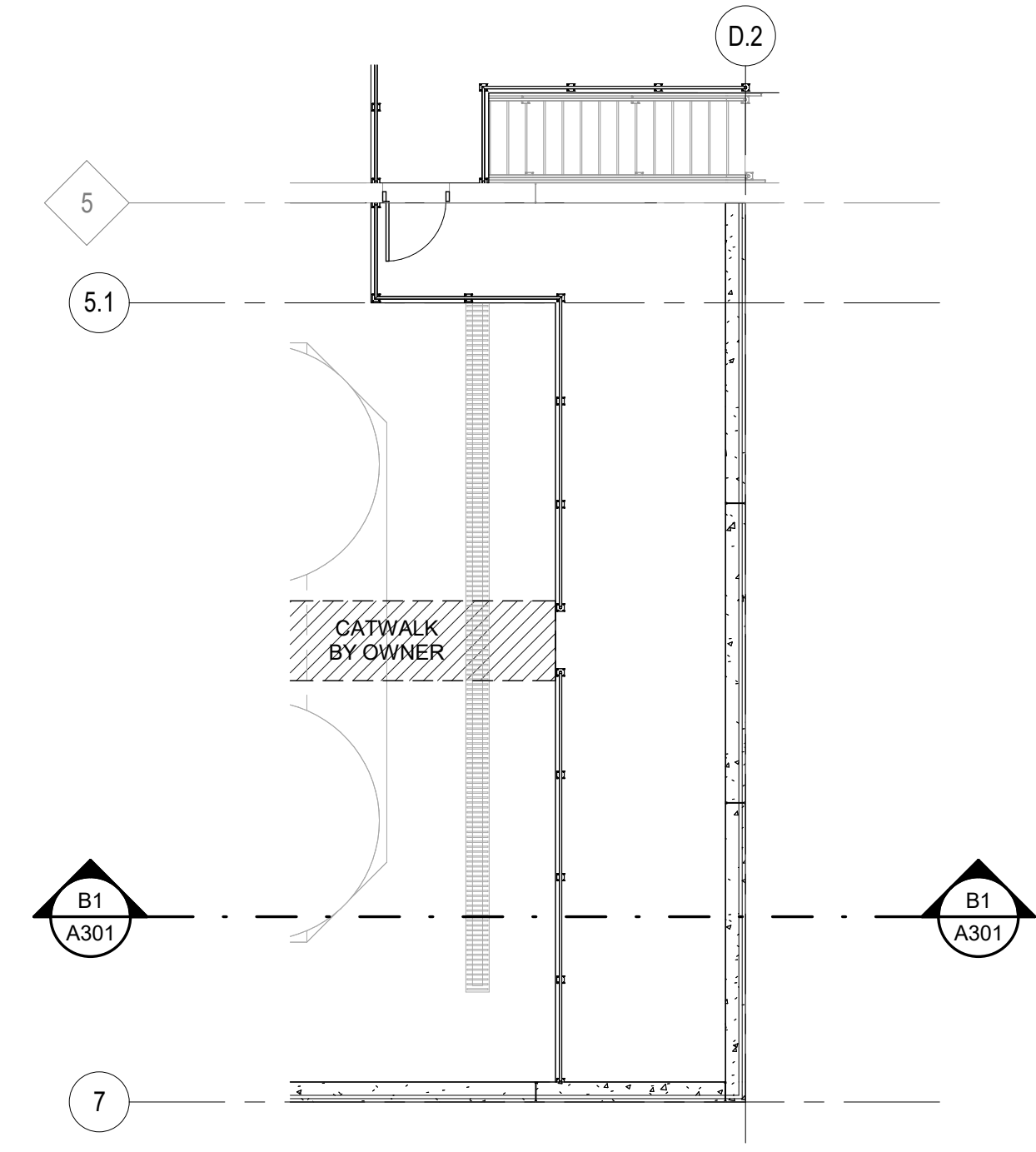
PROJ. #: 22236-01

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COVER SHEET

G001

PRELIMINARY



CONFIGURATIONS	S6A	S6A-B	S6A-B1
GWB TYPE	STANDARD	STANDARD	TYPE X
INSULATION TYPE	N/A	BATT	BATT
FIRE RATING	N/A	N/A	1 HOUR
FIRE TEST	N/A	N/A	UL# U432
STC RATING	36	45-49	45-49

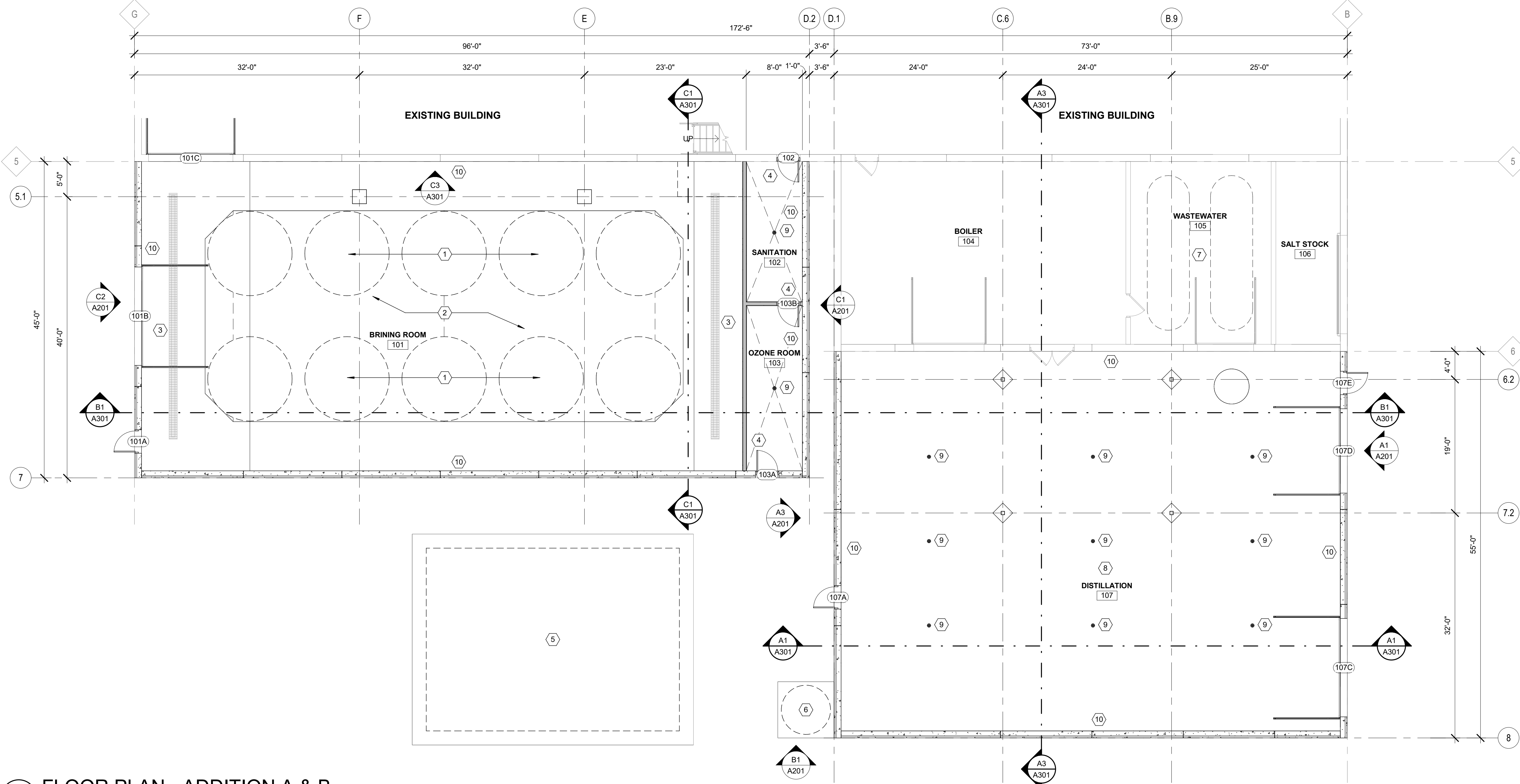
PARTITION TYPE NOTES:

- A. SEE 2009 UNDERWRITERS LABORATORY DIRECTORY FOR ADDITIONAL INFORMATION ON WALL RATING SPECIFICS AND ALLOWABLE MATERIALS.
- B. FIRE RATED ASSEMBLIES: ALL SEAMS TO HAVE TAPE AND JOINT COMPOUND APPLIED. ALL SCREW HEADS TO HAVE JOINT COMPOUND APPLIED. WHERE AN ASSEMBLY FACE IS NOT VISIBLE TO AN OCCUPIED SPACE, COMPOUND AND TAPE CAN BE COMPLETED AT A LEVEL 1 FINISH.
- C. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL WET AREAS INCLUDING KITCHENS, BATHROOMS, AND RESTROOMS.
- D. PROVIDE ACOUSTICAL INSULATION AND ACOUSTICAL SEALANT AT TOP & BOTTOM OF WALLS AND ALL WALL PENETRATIONS AT ALL CORRIDOR AND UNIT DEMISING WALLS. FOR SOUND IMPROVEMENT, DO NOT ALIGN PENETRATIONS BETWEEN UNITS (EG WALL OUTLETS).
- E. ALL GYPSUM SHALL EXTEND TO BOTTOM OF ROOF DECK OR FULL HEIGHT OF PARTITION UNLESS NOTED OTHERWISE.
- F. STC RATINGS ARE ESTIMATES BASED ON STC TESTING. ACTUAL INSTALLED PERFORMANCE MAY VARY.

GENERAL PLAN NOTES:

- A. MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION IMPROVEMENTS TO BE DESIGN BUILD, UNLESS NOTED OTHERWISE. DESIGNED AS REQUIRED BY CURRENT BUILDING CODES. MEP DESIGN BLD CONTRACTOR(S) RESPONSIBLE FOR ENSURING CODE COMPLIANT CONSTRUCTION OF NEW SYSTEMS IN TENANT SPACES.
- B. PROVIDE SOUND INSULATION IN ALL DEMISING WALLS AND INTERIOR WALLS, UNLESS NOTED OTHERWISE.
- C. PROVIDE MOISTURE RESISTANT GWB AT ALL PLUMBING WALLS.
- D. PROVIDE ACCESSIBLE ACCESSORIES PER MOUNTING HEIGHTS INDICATED ON SHEET A001.
- E. PROVIDE ADA APPROVED THRESHOLDS AT ALL NEW FLOOR TRANSITIONS AND DOORWAYS.
- F. EXTERIOR DIMENSIONS ARE FROM GRIDLINE TO GRIDLINE, OR TO EDGE OF FOUNDATION WALL UNLESS NOTED OTHERWISE. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- G. INTERIOR DIMENSIONS FOR NEW CONSTRUCTION ARE TO FACE OF FRAME OR COLUMN CENTERLINE UNLESS NOTED OTHERWISE. ALL DIMENSIONS FROM EXISTING WALLS ARE FROM FINISH FACE UNLESS NOTED OTHERWISE.
- H. ALL DOORS WITH A CLOSE PROXIMITY OF A PERPENDICULAR WALL SHALL HAVE A TYPICAL DIMENSION OF 6" FROM FACE OF FRAME TO DOOR OPENING UNLESS NOTED OTHERWISE.
- I. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- J. CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED MODIFICATIONS.
- K. FIRE EXTINGUISHER CABINETS SHALL BE RATED TO MEET THE ASSOCIATED WALL FIRE RATING.
- L. GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK. SEAL ALL DOORS AS REQUIRED. CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND.
- M. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNERS REQUEST. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.

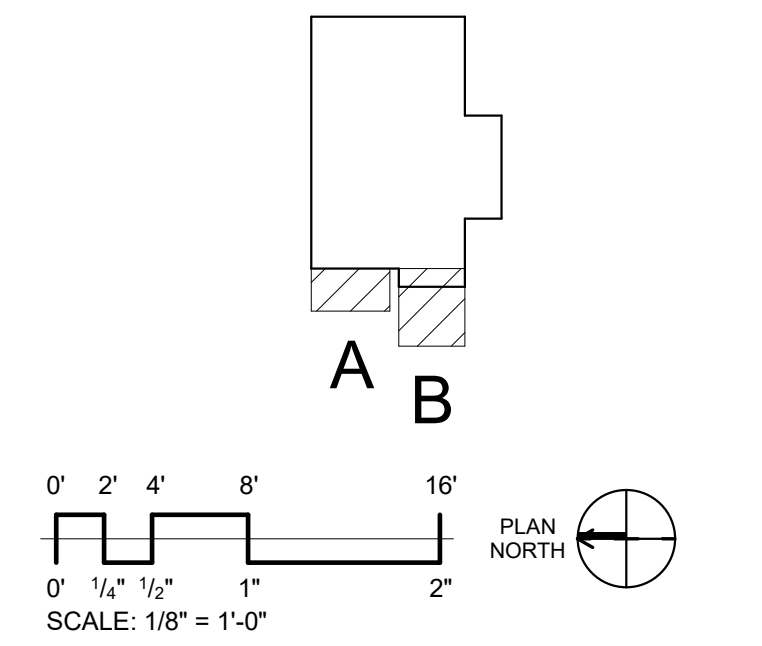
C2 MEZZANINE
1/8" = 1'-0"



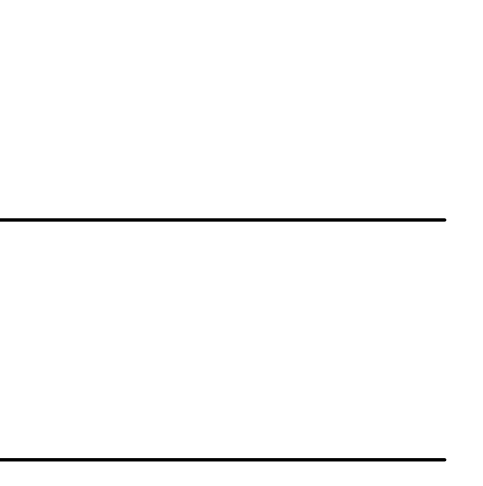
KEYNOTES:

- 1 BRINING TANKS
- 2 12" RAISED CONCRETE PAD
- 3 TRENCH DRAIN WITH INTERNAL SLOPE
- 4 FRP DOOR PER OWNER REQUIREMENTS
- 5 EVAPORATER EQUIPMENT PAD
- 6 COOLING TOWER FOUNDATION
- 7 EXISTING UNDERGROUND WASTEWATER TANKS
- 8 PAINT THE STRUCTURE AND DECK WITH CORROSION RESISTANT COATING
- 9 INSTALL FLOOR DRAIN AS REQUIRED FOR EQUIPMENT ALYOUT AND PER PLUMBING CODE REQUIREMENTS
- 10 PAINT / COAT ROUGH WALL OPENINGS, SPECIFICALLY WITH EXPOSED METAL, WITH CORROSION RESISTANT COATING

KEY PLAN



A1 FLOOR PLAN - ADDITION A & B
1/8" = 1'-0"



VAN HOLTEN'S PICKLES
TENANT IMPROVEMENT
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2023.02.27	REVIEW SET

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FLOOR PLAN

A101

PRELIMINARY

**REFLECTED CEILING PLAN
GENERAL NOTES:**

- A. COORDINATE HVAC WITH ARCHITECT PRIOR TO INSTALLATION (SUPPLY DIFFUSERS, RETURN LOUVERS, TRANSFER GRILLS, EXHAUST GRILLS, AND ANY OTHER FIXTURE).
- B. ALL LIGHT FIXTURE FINISHES TO BE WHITE U.N.O., EXCEPT FOR JANITORIAL, MECHANICAL, AND UNFINISHED MAINTENANCE ROOMS
- C. LIGHTING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. LIGHT FIXTURES TO BE DESIGNED BY ELECTRICIAN OR LIGHTING DESIGNER.
- D. FOLLOW THE STATE AND NATIONAL CODE REQUIREMENTS AND MINIMUM FOOT CANDLE REQUIREMENTS.
- E. MEP & FP CONTRACTORS SHALL COORDINATE WITH ARCHITECT PRIOR TO CONSTRUCTION START TO MINIMIZE CEILING MOUNTED FIXTURES AND EQUIPMENT. CONDUIT SHALL BE RUN AT 90 DEGREE ANGLES TO THE SPACE, UNLESS NOTED OTHERWISE, AND SHALL BE CONCEALED WHERE POSSIBLE.

RCP KEYNOTES:

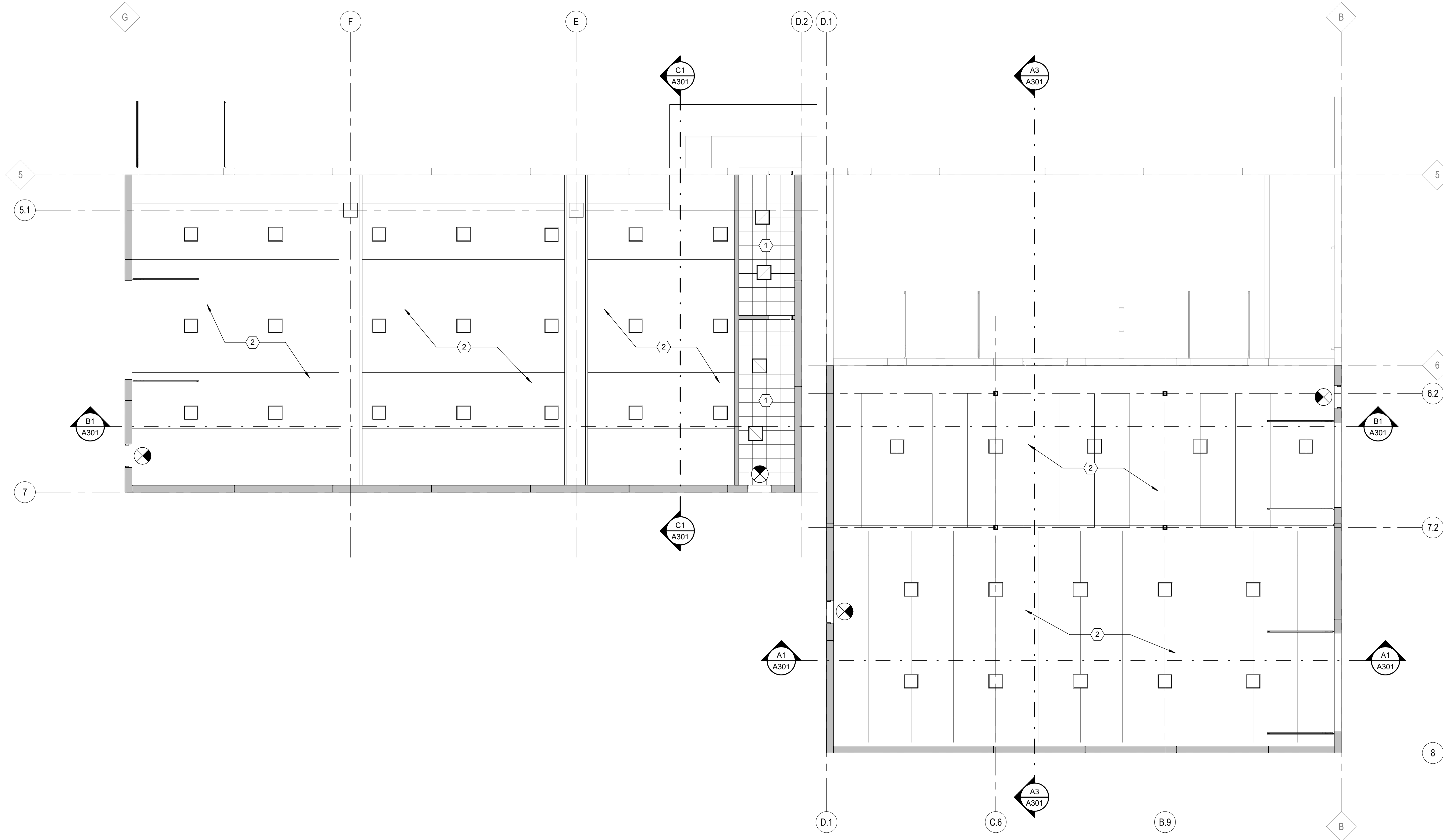
- 1 INSTALL VINYL TILE DROPS CEILING; INSTALL IN-GRID LIGHTS AS NECESSARY
- 2 OPEN TO STRUCTURE/DECK; INSTALL HIGH-BAY LIGHTS AS NECESSARY

D

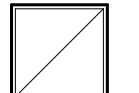
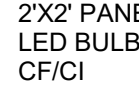
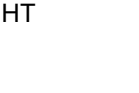

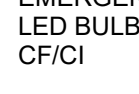

C

B

A



CEILING PLAN FIXTURES:

-  • 2X2' PANEL LIGHT
-  • LED BULB
-  • CFCI
-  • EMERGENCY EXIT LIGHT
-  • LED BULB
-  • CFCI

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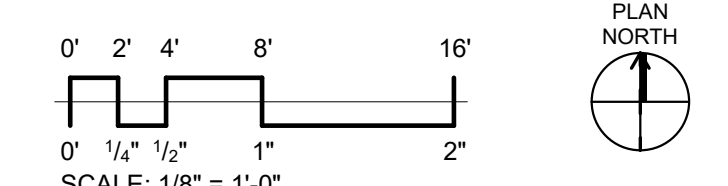
Project Status

2023.02.27	REVIEW SET

PROJ. #: 22236-01

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REFLECTED CEILING PLAN



A1 FIRST FLOOR RCP
1/8" = 1'-0"

PRELIMINARY

A103

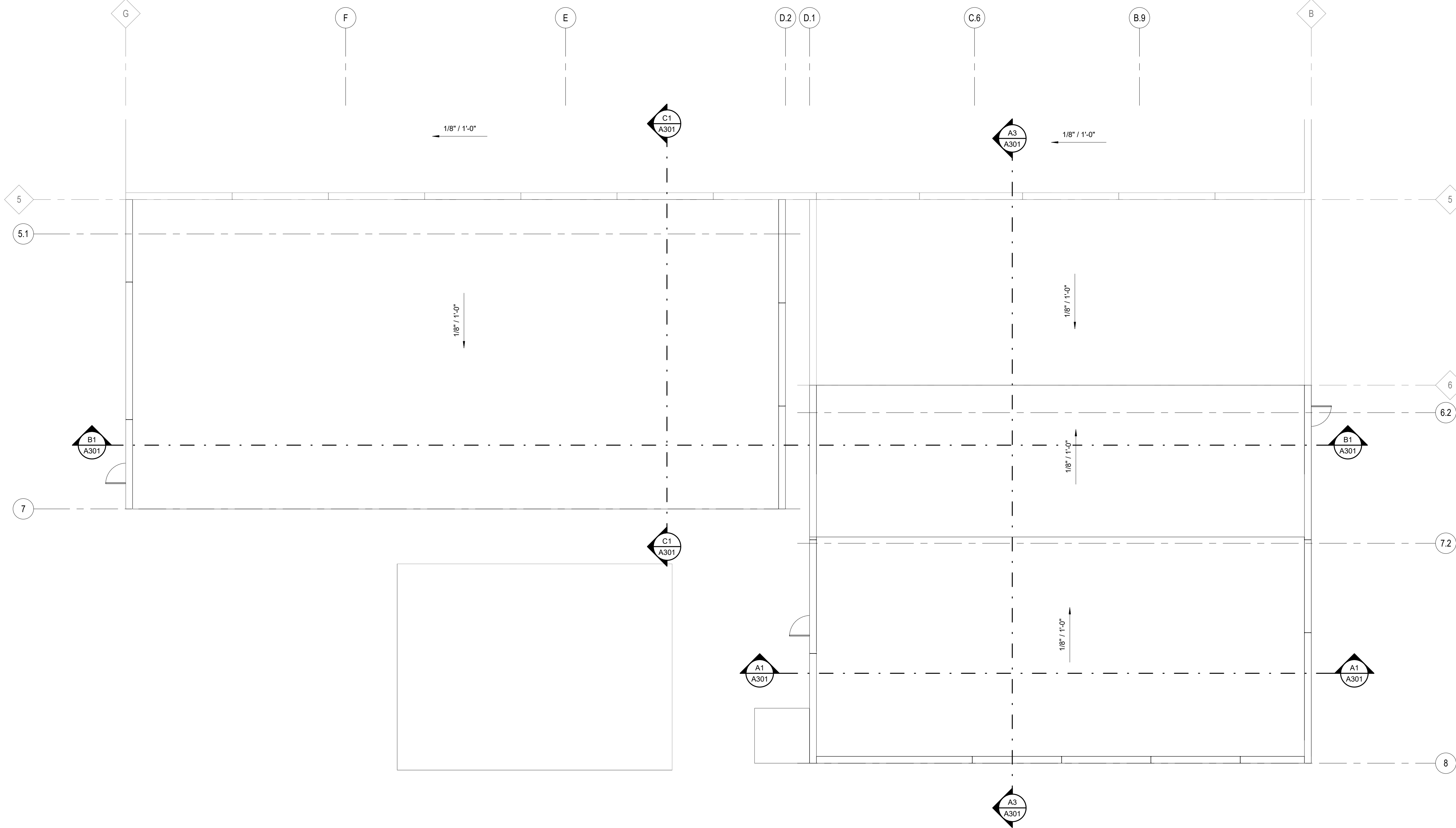
ROOF PLAN GENERAL NOTES:

- A. EXTERIOR DIMENSIONS ARE FROM GRIDLINE TO GRIDLINE, OR TO EDGE OF FOUNDATION WALL UNLESS OTHERWISE NOTED. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- B. DIMENSIONS ARE TO FACE OF WALL UNLESS NOTED OTHERWISE. VERIFY ALL EXISTING CONDITIONS AND ADJUST ALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- C. STAIRWELL, ELEVATOR, AND MECHANICAL CHASE INTERIOR WALLS SHALL BE CONTINUOUS TO BOTTOM OF RATED PENETRATING ASSEMBLY CAP. MAINTAIN CONTINUITY OF FIRE RATING FROM LOWEST FLOOR THROUGH ROOF OR AS OTHERWISE INDICATED.
- D. INSTALL ICPEAK AND WATER SHIELD AT ALL ROOF EAVES AND VALLEYS. EXTEND FROM EAVE TO 24" MINIMUM INSIDE THE EXTERIOR WALL LINE. INSTALL PER MANUFACTURER SPECIFICATIONS.
- E. FINAL DOWNSPOUT / SCUPPER LOCATION(S) SHOULD BE COORDINATED BETWEEN THE ROOFING CONTRACTOR, THE ARCHITECT AND THE CIVIL ENGINEER. VERIFY LOCATION OF DOWNSPOUTS.

ROOF PLAN KEYNOTES:

- ① 1 ABC
- ② 2 DEF

D
C
B
A



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WATERLOO, WI 53594

Project Status

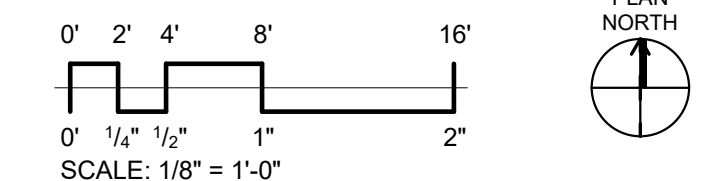
2023.02.27	REVIEW SET

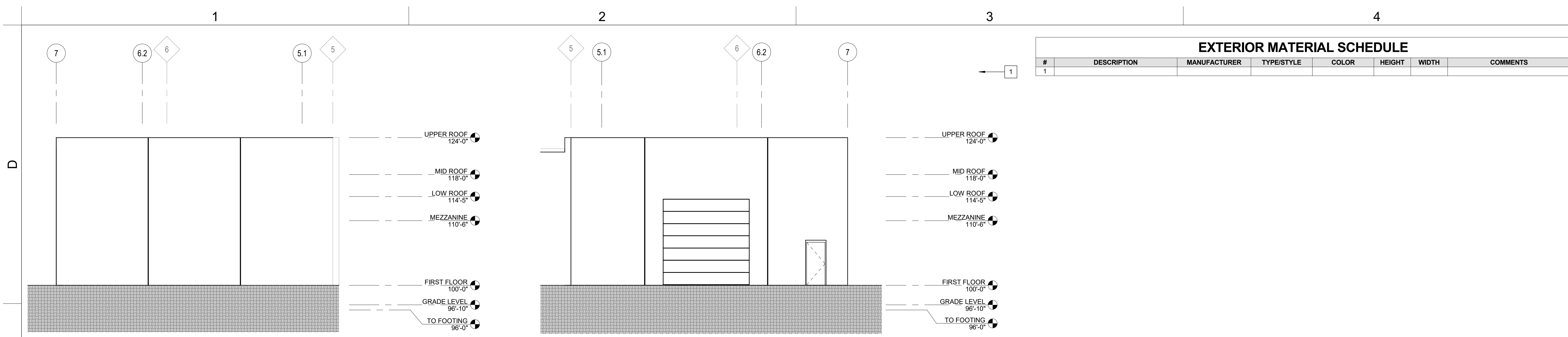
PROJ. #: 22236-01

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ROOF PLAN

A1 ROOF PLAN
1/8" = 1'-0"

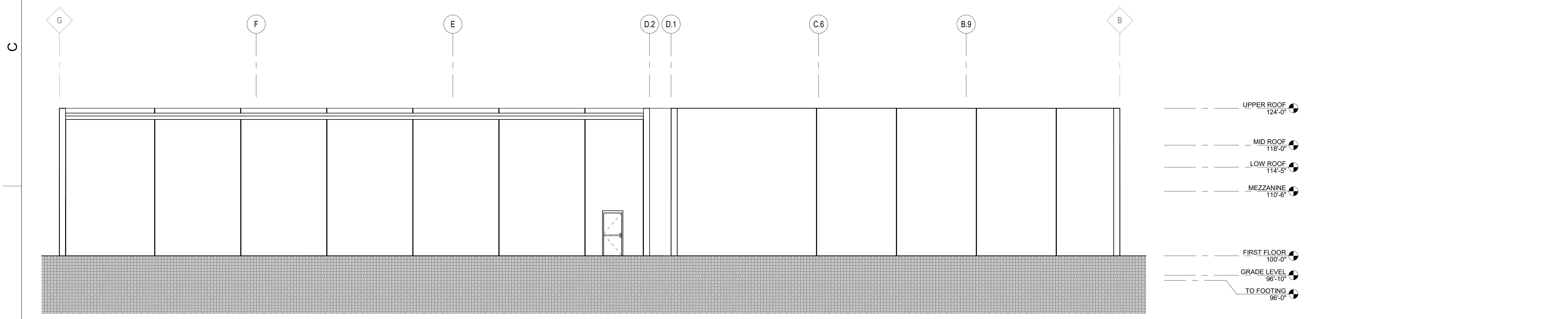




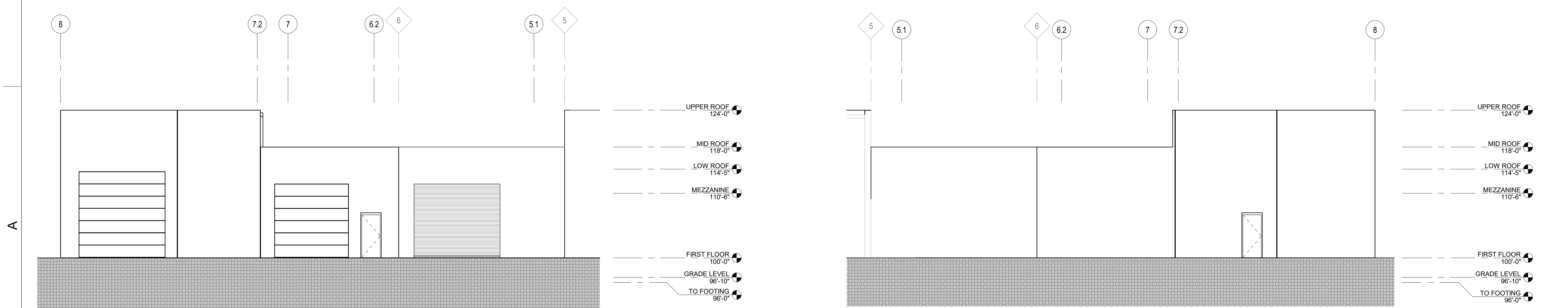
C1 SOUTH ELEVATION - ADDITION A
1/8" = 1'-0"

C2 NORTH ELEVATION - ADDITION A
1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE							
#	DESCRIPTION	MANUFACTURER	TYPE/STYLE	COLOR	HEIGHT	WIDTH	COMMENTS
1							



B1 WEST ELEVATION
1/8" = 1'-0"



A1 SOUTH ELEVATION - ADDITION B
1/8" = 1'-0"

A3 NORTH ELEVATION - ADDITION B
1/8" = 1'-0"

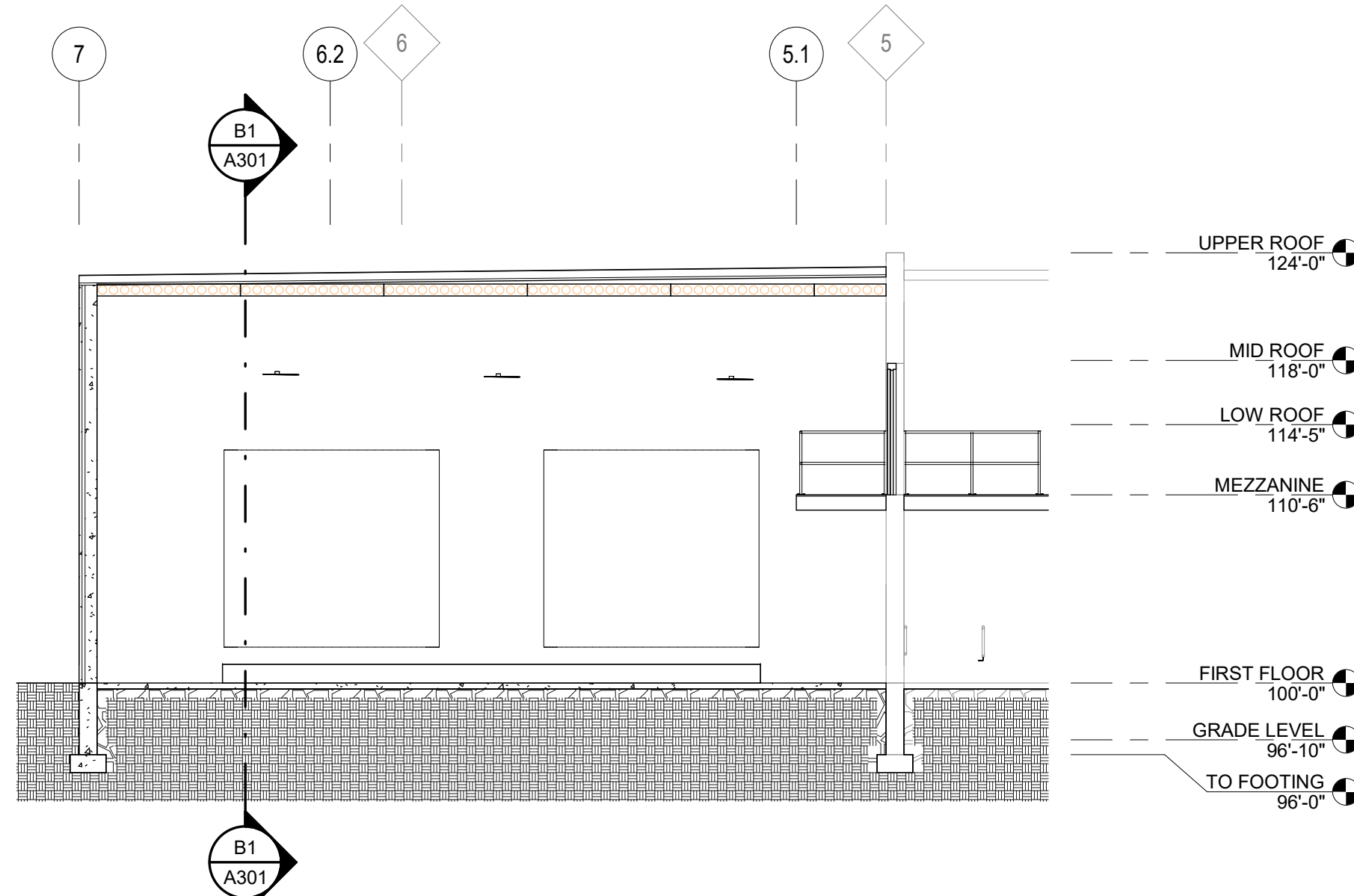
Project Status

2023.02.27	REVIEW SET

PROJ. #: 22236-01

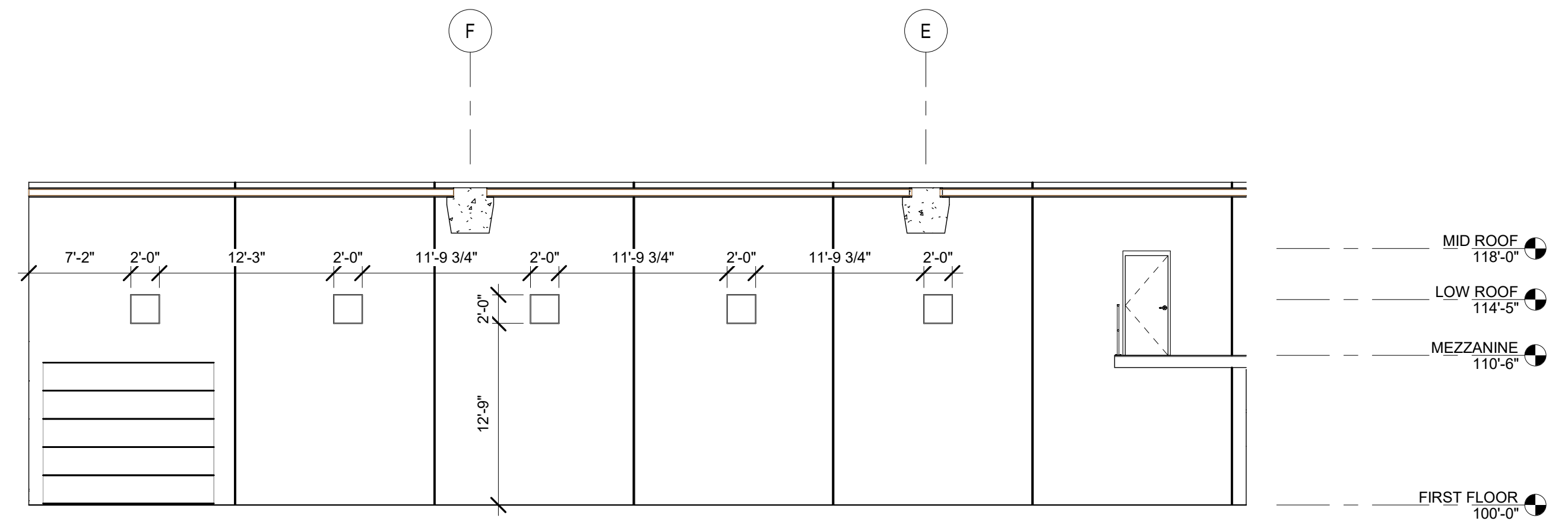
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EXTERIOR ELEVATIONS



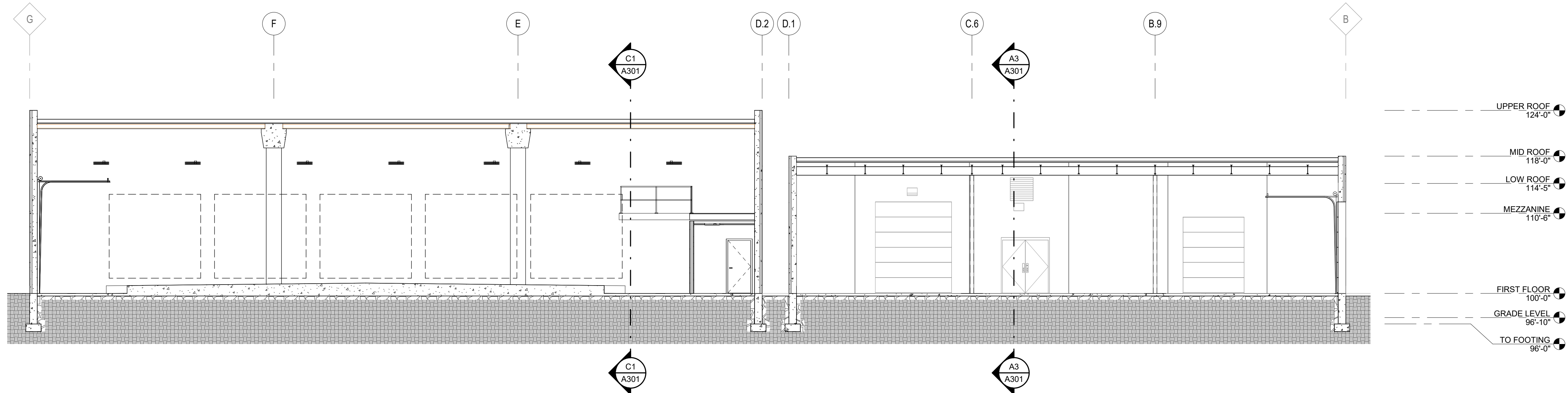
C1 SECTION - ROOM 101

1/8" = 1'-0"



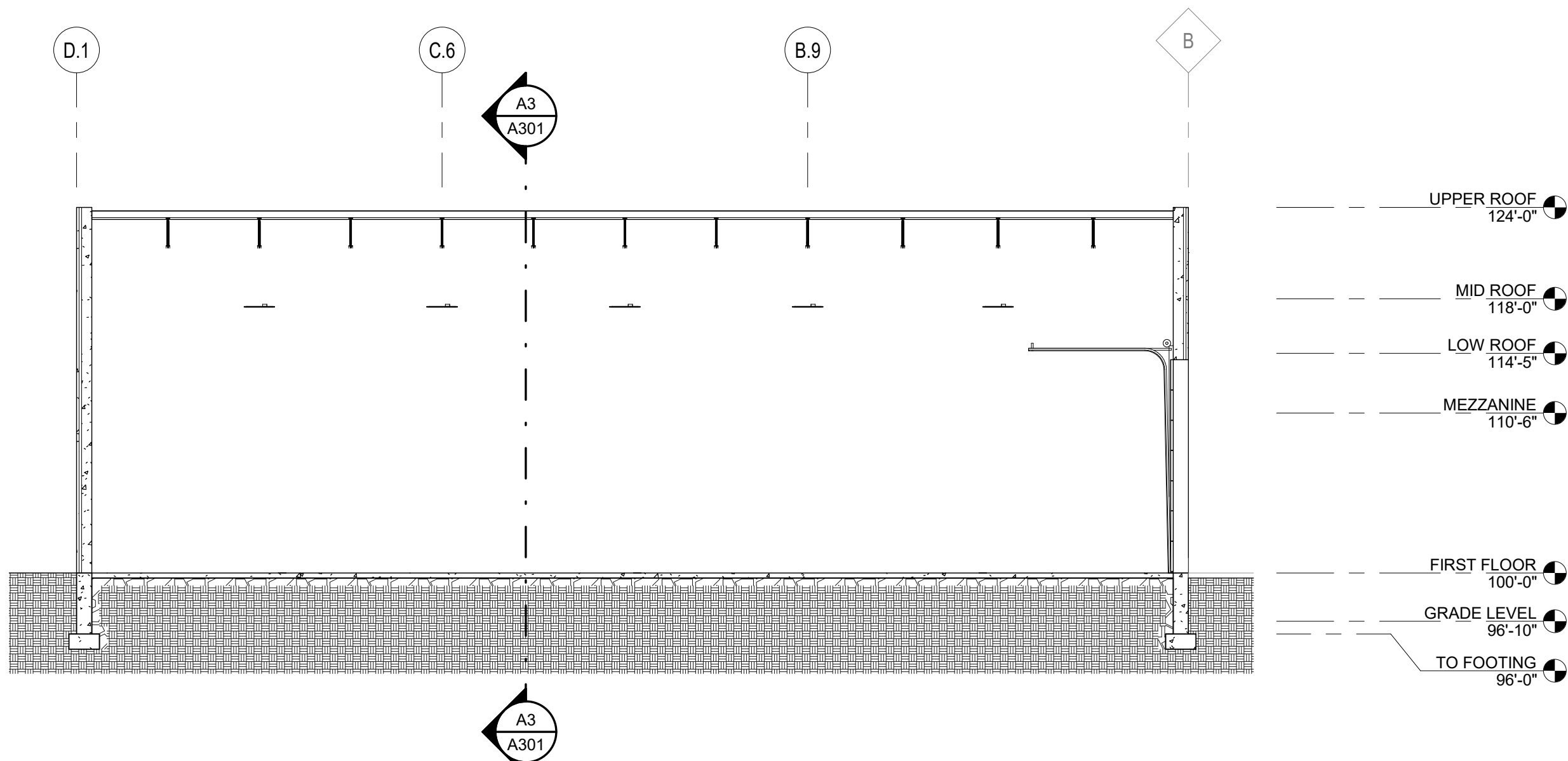
C3 EXISTING WALL OPENINGS

1/8" = 1'-0"



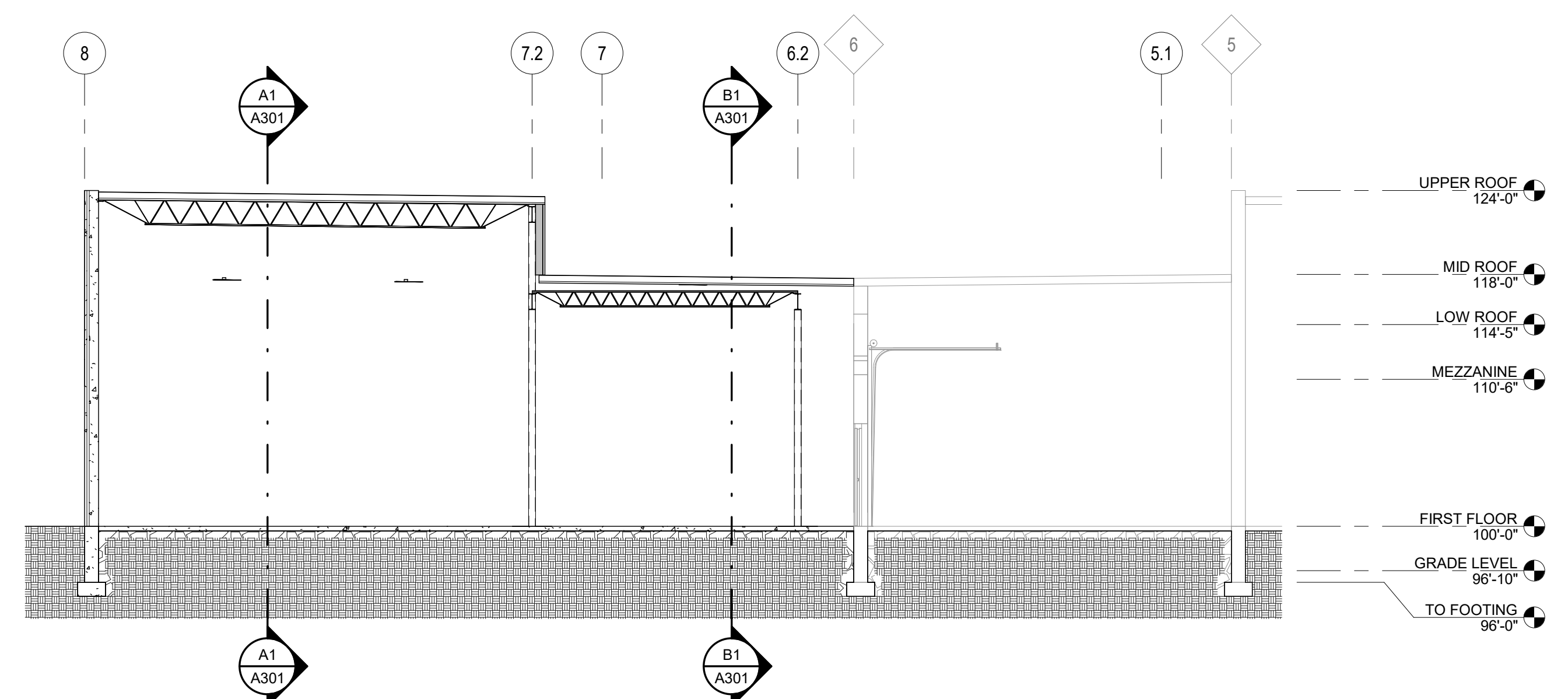
B1 SECTION - ROOMS 101 & 107

1/8" = 1'-0"



A1 SECTION - ROOM 107

1/8" = 1'-0"



A3 SECTION - ROOMS 107 & 104

1/8" = 1'-0"

VAN HOLTEN'S PICKLES
TENANT IMPROVEMENT
703 WEST MADISON STREET
WATERLOO, WI 53594

Project Status

2023.02.27	REVIEW SET
------------	------------

PROJ. #: 22236-01

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BUILDING SECTIONS

A301

PRELIMINARY

1

2

3

4

DOOR SCHEDULE

MARK	NOMINAL DOOR SIZE (W x H x THK)	DOOR PANEL			FRAME			DOOR HARDWARE	WALL FIRE RATING	REMARKS
		TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH			
101A	3'-0" x 7'-0" x 1 3/4"	1	GALV	PT	A	GALV	PT			
101B	14'-0" x 14'-0" x 2"	3	GALV		C	GALV				
101C	12'-0" x 10'-0" x 2"	3	GALV		C	GALV				
102	3'-0" x 6'-8" x 1 3/4"	2	GALV	PT	B	GALV	PT			
103A	3'-0" x 7'-0" x 1 3/4"	2	GALV	PT	B	GALV	PT			
103B	3'-0" x 7'-0" x 1 3/4"	2	GALV	PT	B	GALV	PT			
107A	3'-0" x 7'-0" x 1 3/4"	1	GALV	PT	A	GALV	PT			
107C	14'-0" x 14'-0" x 2"	3	GALV		C	GALV				
107D	12'-0" x 12'-0" x 2"	3	GALV		C	GALV				
107E	3'-0" x 7'-0" x 1 3/4"	1	GALV	PT	A	GALV	PT			
FIRST FLOOR: 10										
201	3'-0" x 7'-0" x 1 3/4"	1	GALV	PT	A	GALV	PT			
MEZZANINE: 1										

DOOR SCHEDULE REMARKS

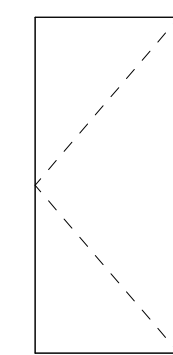
NO.	REMARK
1	
2	
3	

DOOR SCHEDULE LEGEND

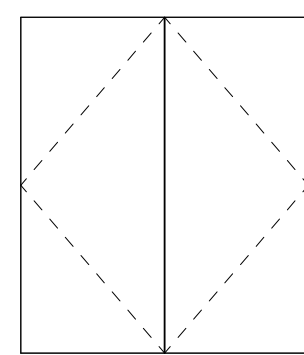
ABBREVIATION	TERM
GALV	GALVANIZED STEEL
PT	PAINT / PROTECTIVE COATING
SS	STAINLESS STEEL

DOOR HARDWARE SCHEDULE

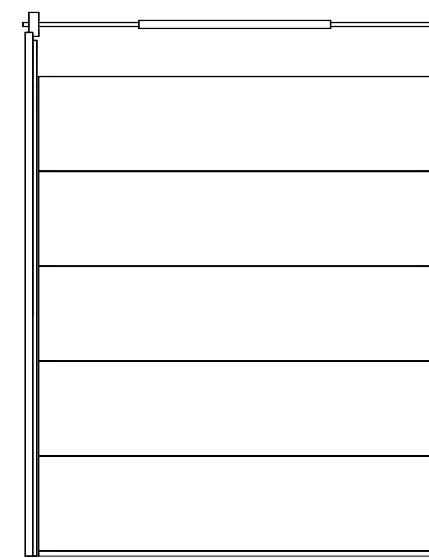
NO.	QTY	HARDWARE	MANUFACTURER	MODEL	FINISH
LOCKSSETS					
L-2	1	STORAGE LOCK SET			SS
HINGES					
H-21	3	1 1/2" PAIR HINGES, HEAVY DUTY			SS
CLOSERS					
C-32	1	SURFACE CLOSER			SS
STOPS					
S-41	1	WALL STOP			SS
OPERATORS					
O-50	1	POWER OPERATOR WITH PULL CHAIN OVERRIDE			SS
MISCELLANEOUS					
M-61	1	KICK PLATE			SS



DOOR TYPE 1
SINGLE LEAF SWING
STOREFRONT DOOR

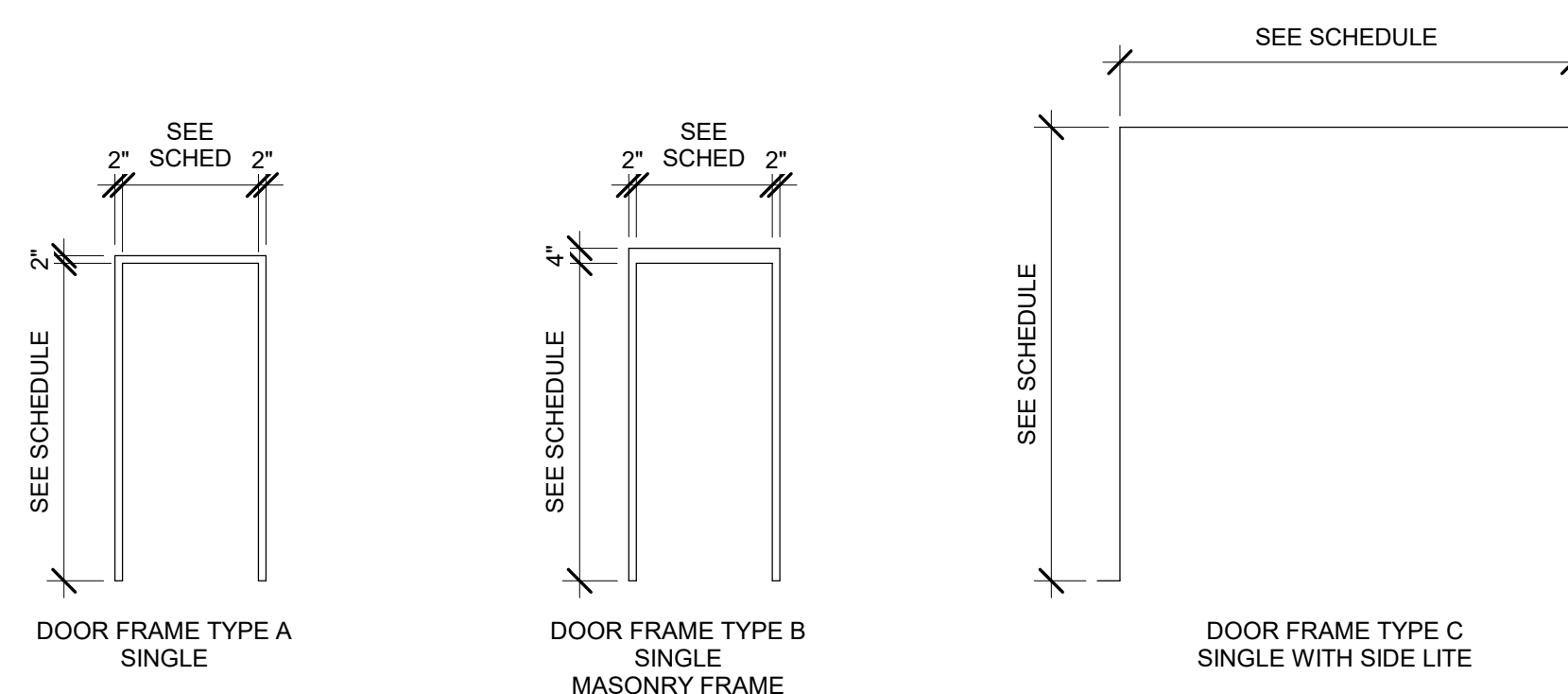


DOOR TYPE 2
DOUBLE LEAF SWING
FLUSH DOOR



DOOR TYPE 3
SECTIONAL OVERHEAD
FLAT PANEL

C2 DOOR ELEVATIONS
1/4" = 1'-0"



B2 DOOR FRAME ELEVATIONS
1/4" = 1'-0"

Sketchworks
architecture llc

NEWCOMB

DOOR GENERAL NOTES:

- VERIFY DOOR SIZES FROM DOOR SCHEDULE. VERIFY ALL ROUGH OPENINGS WITH RESPECTIVE MANUFACTURERS.
- PROVIDE ACCESSIBLE HARDWARE INCLUDING BUT NOT LIMITED TO DOOR HANDLES, PULLS, LATCHES, LOCKS, OPERATING DEVICES AND THRESHOLDS AT ALL NEW DOORS. REFER TO SECTION 1010.1.9.1 IN 2015 IBC FOR CODE REQUIREMENTS.
- REINFORCE ALL DOORS FOR HARDWARE WITH OWNER AND TENANT LOCATION AND REQUIREMENTS OF SPECIAL SECURITY DEVICES.
- REFER TO SHEET A001 FOR DOOR CLEARANCE REQUIREMENTS.
- HARDWARE SCHEDULE IS FOR BASIS OF DESIGN ONLY. SUBJECT TO CHANGE. ANY CHANGES TO THE HARDWARE SCHEDULE OR HARDWARE SELECTION MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
- DOOR HARDWARE SCHEDULE QUANTITIES ARE PER DOOR AND DO NOT REPRESENT THE QUANTITY REQUIRED FOR ENTIRE PROJECT.

VAN HOLTEN'S PICKLES
TENANT IMPROVEMENT
703 WEST MADISON STREET
WATERLOO, WI 53594

Project Status

2023.02.27	REVIEW SET

PROJ. #: 22236-01

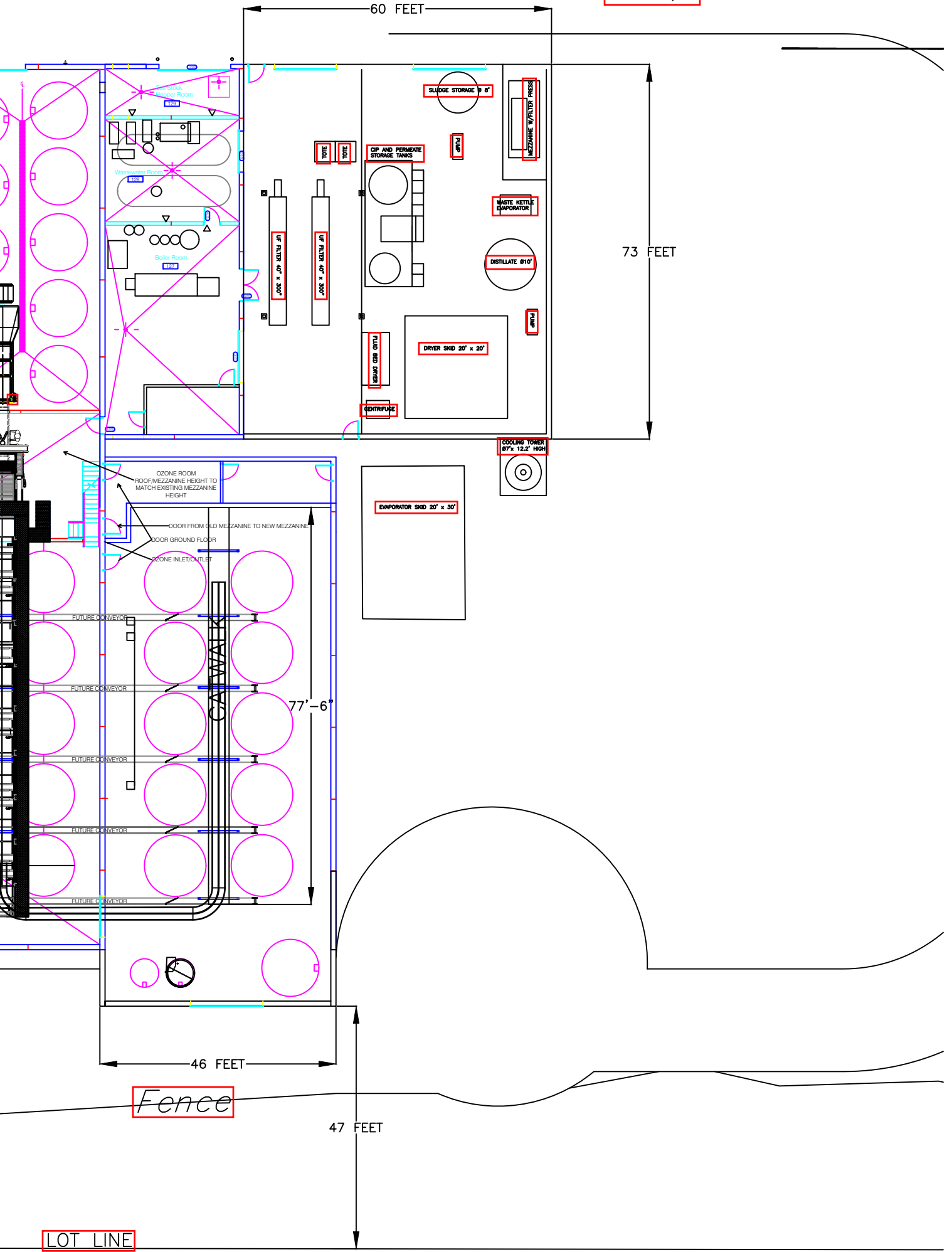
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DOOR AND WINDOW SCHEDULES

A601

PRELIMINARY

Ramp



Gregg Geier

From: Fire Chief <chief@waterloowi.us>
Sent: Thursday, March 23, 2023 9:05 AM
To: Gregg Geier
Subject: Re: Van Holten's Fire Access proposal

Follow Up Flag: Follow up
Flag Status: Flagged

Gregg

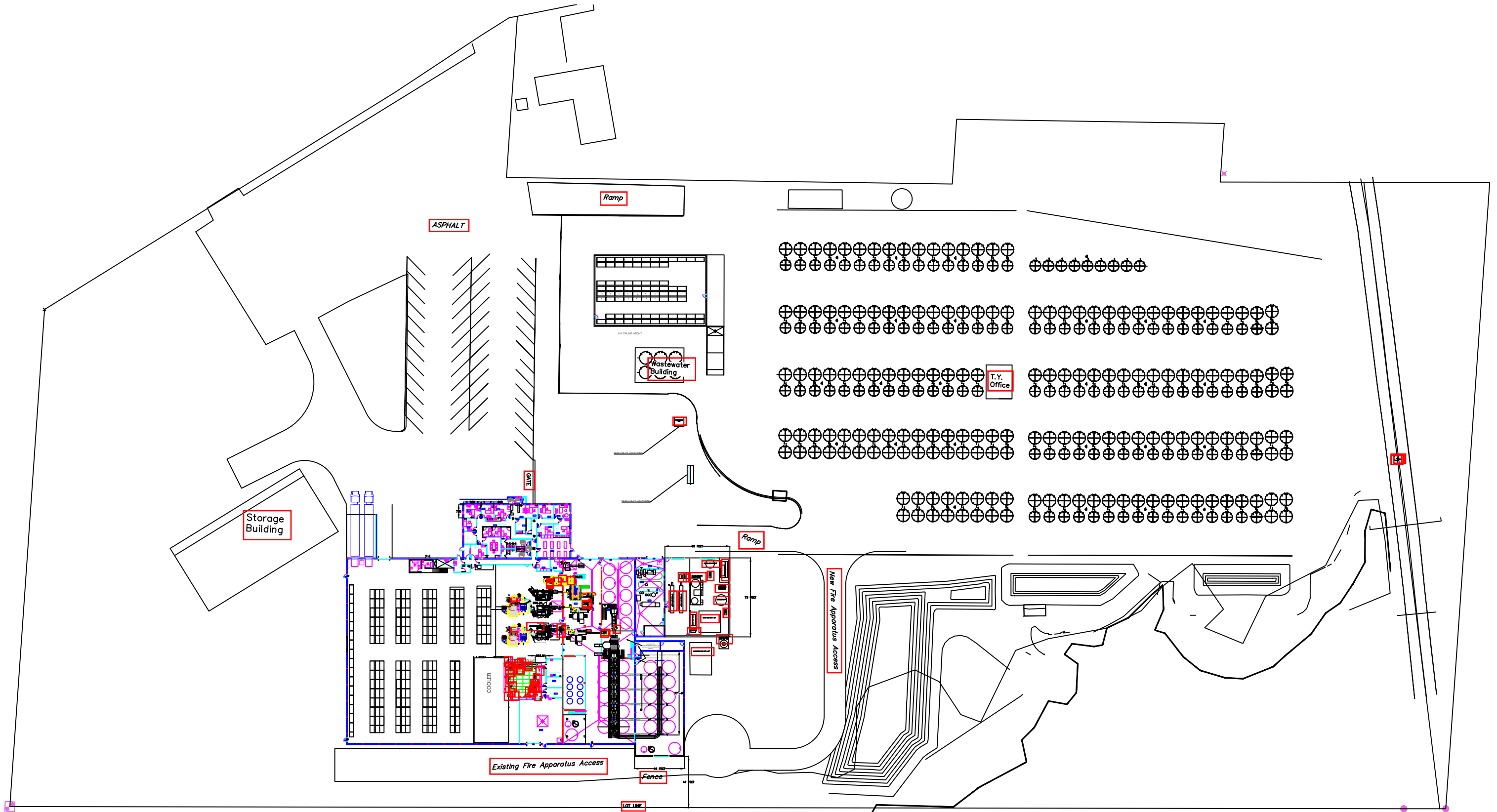
At 17 feet it will be a much tighter fit for the truck. I will be able to just get by the building. I we have to put the outriggers out that is 17 feet wide which just get past the mirrors on the truck. So If you can make it wider that would be great. But no less than the 17 feet will be okay.

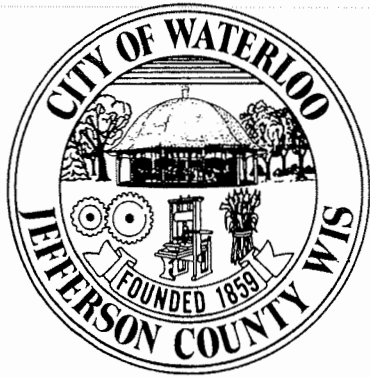
From: Gregg Geier <ggeier@vanholtenpickles.com>
Sent: Tuesday, March 21, 2023 2:15 PM
To: Fire Chief <chief@waterloowi.us>
Subject: RE: Van Holten's Fire Access proposal

Chief Benish, (I am resending the email)

Thanks for the return email. I do have a comment about when you were out to look at the layout with me, backside of the plant. From the white line, I had on the ground, to the fence was actually a 17-foot passage, not the 24 foot as the print showed. (The fence curves towards the building at that point, so the print was wrong) I believe you thought that it was enough room to drive thru the 17-foot passage and you could then setup in the wider area along the existing building. (See sketch below)

I hope I explained this well enough, but can you approve a 17-foot passage along the new building construction to the fence?





136 NORTH MONROE STREET, WATERLOO, WISCONSIN 53594-1198
Phone (920) 478-3025
Fax (920) 478-2021
cityhall@waterloowis.com

APPLICATION FOR SIGN/BILLBOARD

(Review and Action by City Plan Commission/Common Council)

Name and Address of Applicant: Wendy S. Fegler, 268 Jackson St. Waterloo, WI 53594

Location of Property on which Sign/Billboard is to be Located: 268 Jackson St.

Owner of Property on which Sign/Billboard is to be Located: Trek

Zoning District in which Sign/Billboard is to be Located: _____

TYPE OF SIGN: _____ Ground _____ Wall Roof _____ Window _____ Special Event
_____ Advertising _____ Business _____ Industrial _____ Shopping Center _____ Banner
_____ Industrial Park _____ Billboard _____ Illuminated _____ Non-Illuminated Memorial
_____ Bulletin Board _____ Real Estate _____ Warning _____ Directional _____ Other

Sign/Billboard Size: Length 33'10" Height 8'7" Square Feet 290.68 Square footage sum of 3 individual components is 89.4

Submit Sign/Billboard Site Plan and the Following Information:

1. Construction materials and dimensions.
2. Distance from grade to bottom and top of graphic.
3. Distance of Sign/Billboard from public right-of-way.
4. Proposed Sign/Billboard location in relation to property lines.
5. Design calculations for 30# wind load (except flush mounted signs).

I hereby agree to locate, construct and maintain such Sign/Billboard in compliance with the applicable requirements of the Municipal Code of the City of Waterloo.

Date: 4/20/23

Luke Severson
Signature of Applicant

=====
Plan Commission Action _____ Fee Paid _____
Council Action _____ Receipt # _____
Permit # _____
Date Issued _____ Date Paid _____

Fee: 10 sq. ft. or smaller - \$10.00 minimum
Each additional sq. ft. \$1.00 to a maximum of \$50.00 for a 50 sq. ft. sign or larger.

TREK

TK23_CAMPUS_Phase2_RedBarn-EXT : “RED BARN REFRESH” Program
SIGNAGE: Exterior
FOR FINAL PRODUCTION - APPROVED

PRESENTED BY: EGD-HQ | JASON KRAFT
EXPORT DATE: 2023.03.28

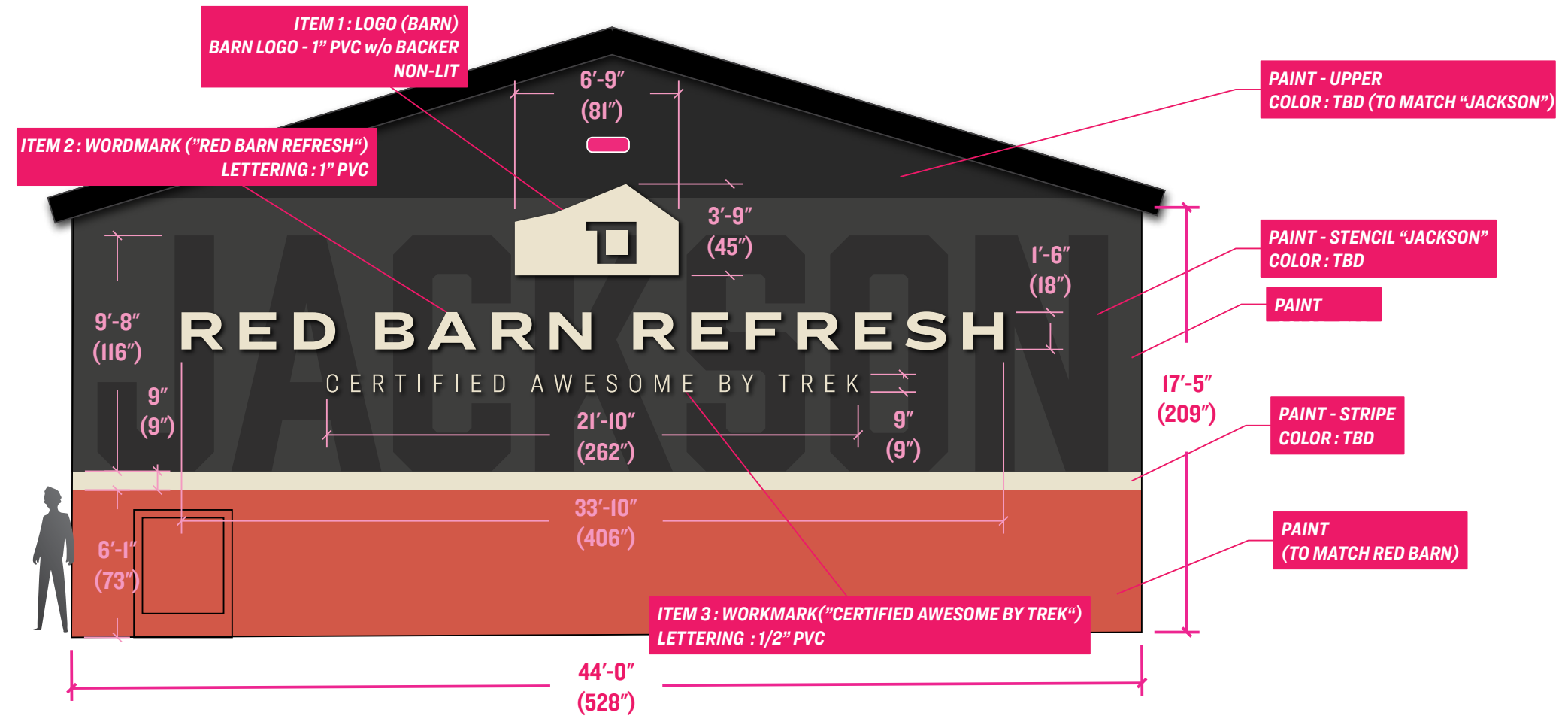
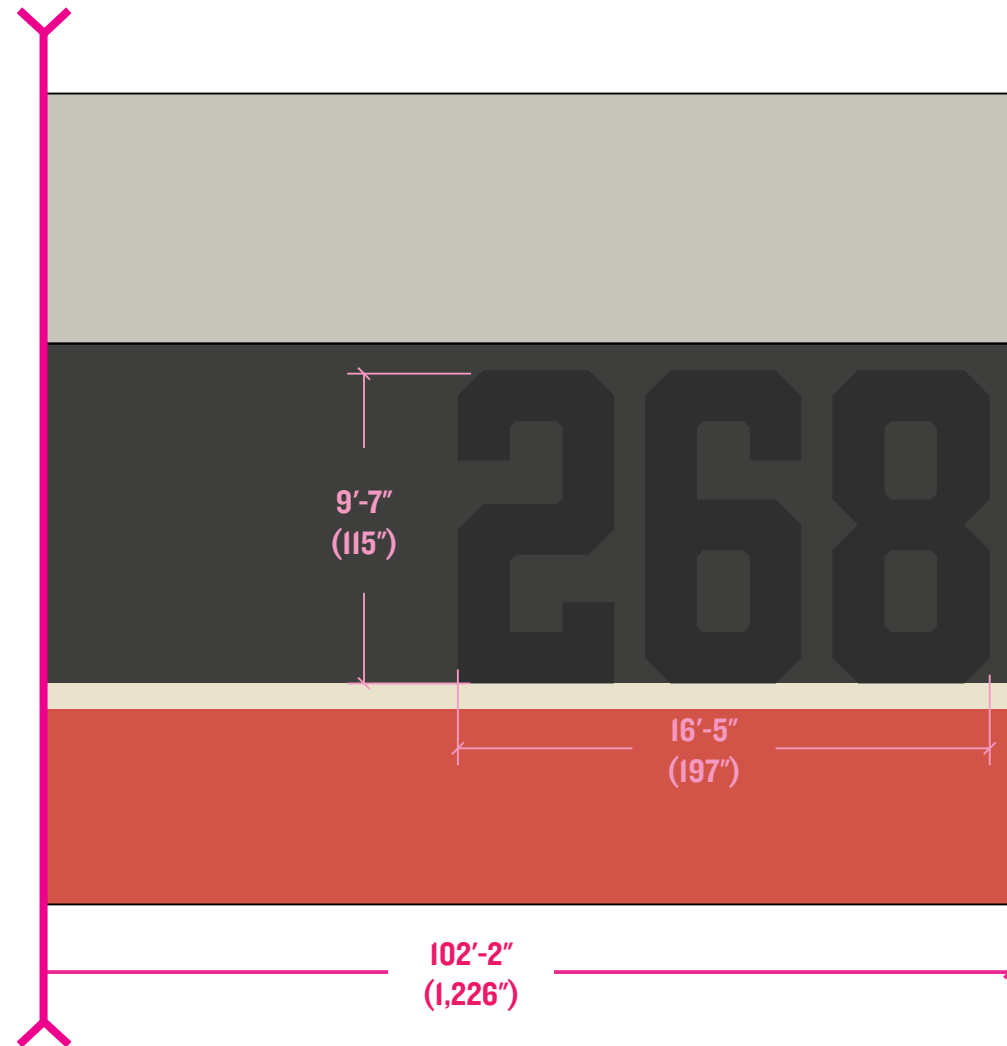
ALL DESIGNS & CONCEPT WORK ARE CONFIDENTIAL UNLESS OTHERWISE INDICATED © TREK BICYCLE CORPORATION 2023 | TK23_CAMPUS_Phase2_RedBarn-EXT_DASHBOARD | 03/28/23



RED BARN EXTERIOR SIGNAGE / "RED BARN REFRESH" PROGRAM" - Buildings 1 & 2

WHAT:

- Convert the Waterloo original Big Red Barn into the ReRIDE Program HQ
- Refresh/Update/Re-Identify this location

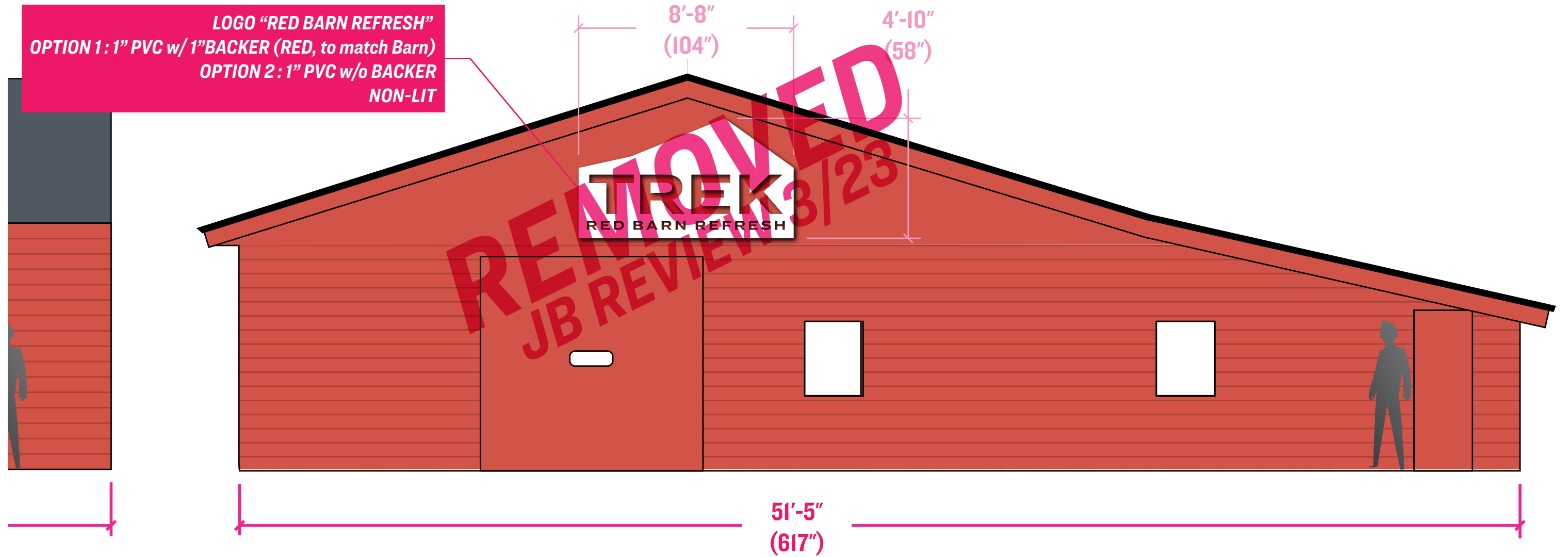


RED BARN EXTERIOR SIGNAGE / "RED BARN REFRESH" PROGRAM - Building 2

WHAT:

- Convert the Waterloo original Big Red Barn into the ReRIDE Program HQ
- Refresh/Update/Re-Identify this location





RED BARN EXTERIOR SIGNAGE / BUILDING 1

WHAT:

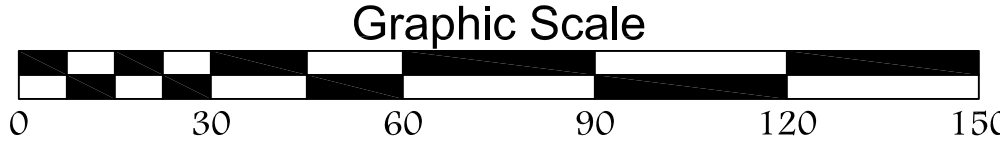
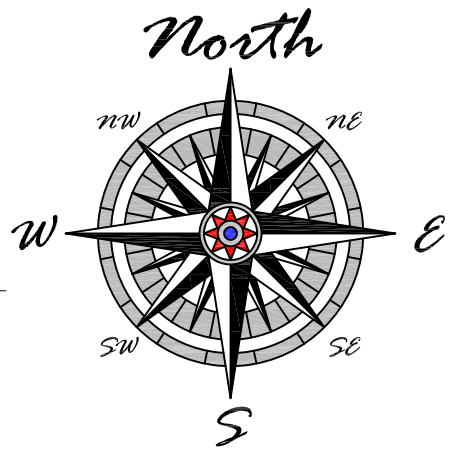
- Convert the Waterloo original Big Red Barn into the ReRIDE Program HQ
- Refresh/Update/Re-Identify this location



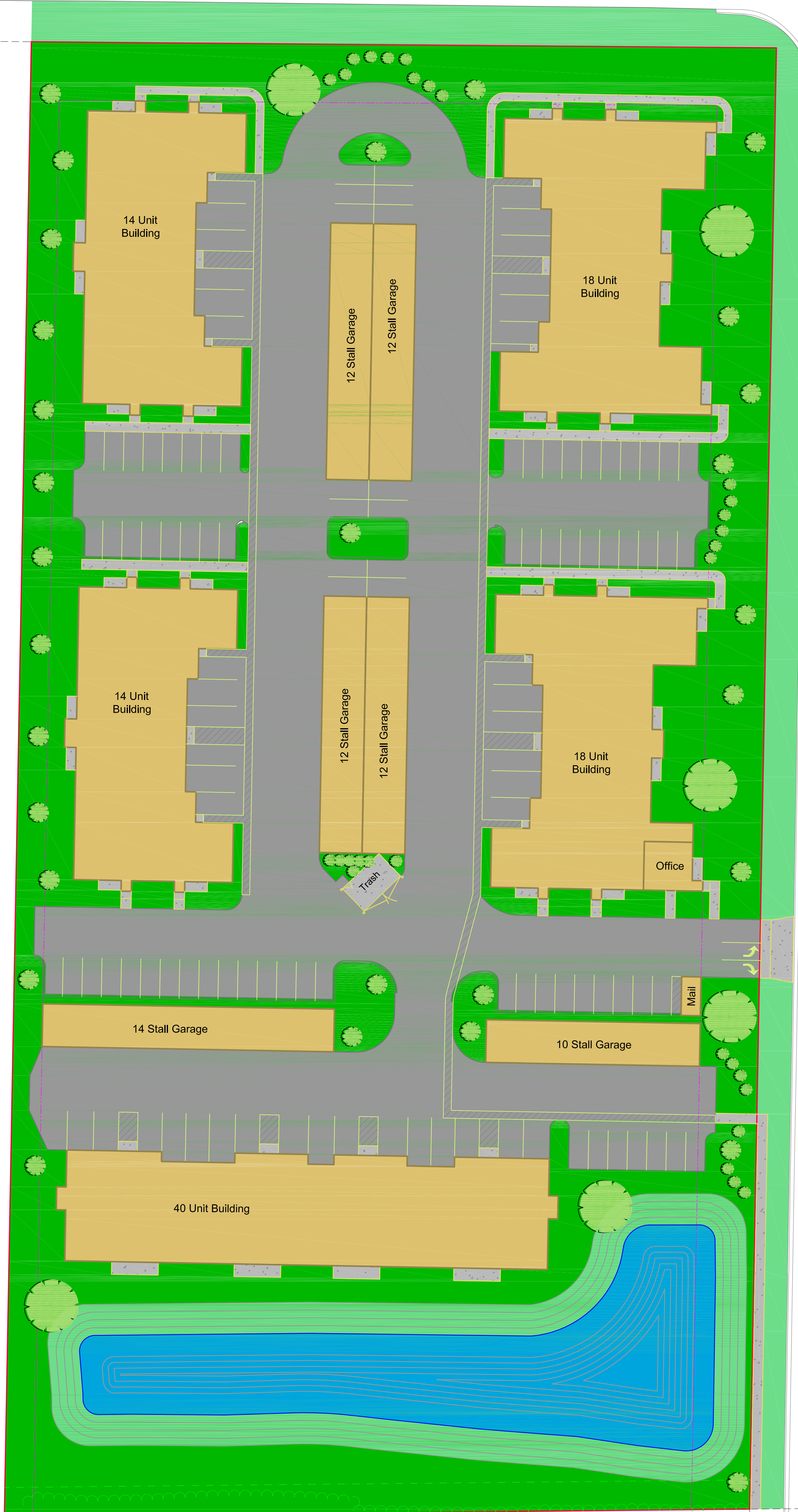
Site Plan

All of Lot 1, Volume 35, Certified Survey Maps, Page 257, Map Number 6081, Document Number 1426857, Jefferson County Records, being part of the Northeast 1/4 of the Northeast 1/4 of Section 6, T8N-R13E, City of Waterloo, Jefferson County, Wisconsin.

104 Units
 (2) 14-Unit Buildings
 (2) 18-Unit Buildings
 (1) 40-Unit Building
 (100) Garage stalls & (121) Outdoor stalls



W. Clarkson Road



S.T.H. "89"

N. Monroe Street



PROJECT NO. D-6322
 SHEET NO. 1 of 1
 DRAWING NO. S-3732

Duquaine Development

Mau & Associates, LLP
 LAND SURVEYING & PLANNING
 CIVIL & WATER RESOURCE ENGINEERING
 Phone: 920-434-9670 Website: www.mau-associates.com
 400 Security Blvd Ste 1, Green Bay, WI 54313-9712

TAX PARCEL NO. 290-0813-0611-006
Site Plan

SCALE 1" = 30'
 DRAWN BY BAR

Data File: D-6322.txt Fieldwork Completed: 05/18/22

File: D-6322Landscape 032023.dwg



2112 BUILDING
40 Unit 3 Story



PRELIMINARY - NOT FOR CONSTRUCTION

Duquaine Development
Bay Pointe Apartments LLC
2112 POD (3) Nasewaupsee WI

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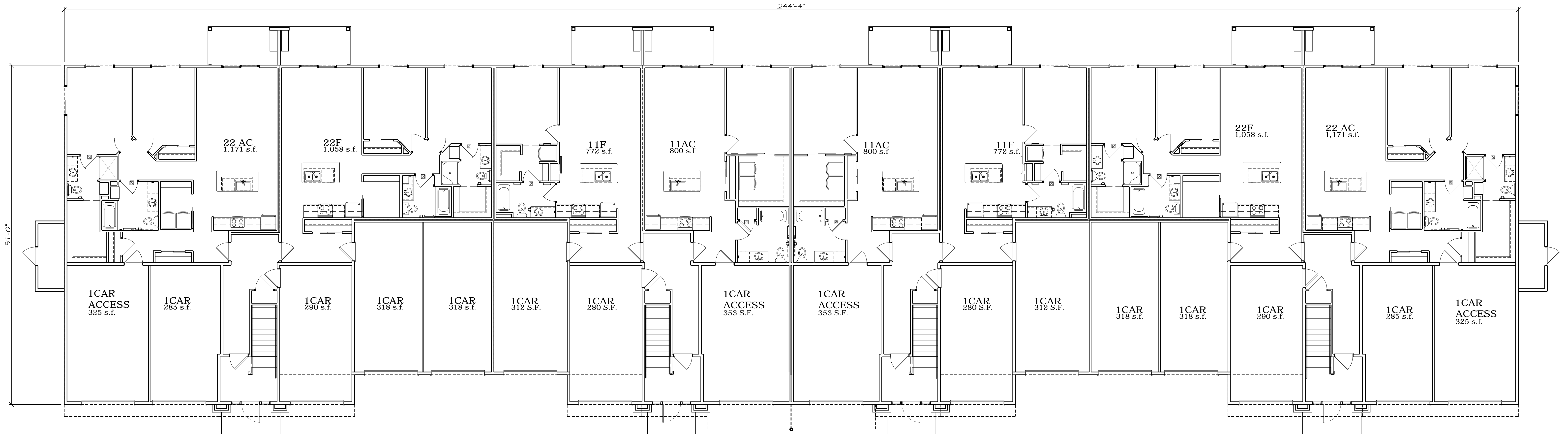
LaPlant
 Architecture, LLC

EMAIL: laplanarchitecture@yahoo.com
 OFFICE: 926 WILLARD DRIVE
 GREEN BAY, WISCONSIN
 MAILING: 1592 RUSTIC WAY
 GREEN BAY, WISCONSIN 54313
 Telephone: (920) 737-9769

REVISION	DATE
1	XX

DATE: 4/7/2023
 PROJECT NO.: 1811402
 SHEET: **A**
1.1

FIRST FLOOR



2112 BUILDING

Duquaine Development
Bay Pointe Apartments LLC
2112 POD (3) Nasewaapee WI

LaPlant
 Architecture, LLC

EMAIL: laplanarchitecture@yahoo.com
 OFFICE: 926 WILLARD DRIVE
 GREEN BAY, WISCONSIN
 MAILING: 1592 RUSTIC WAY
 GREEN BAY, WISCONSIN 54313
 Telephone: (920) 737-9769

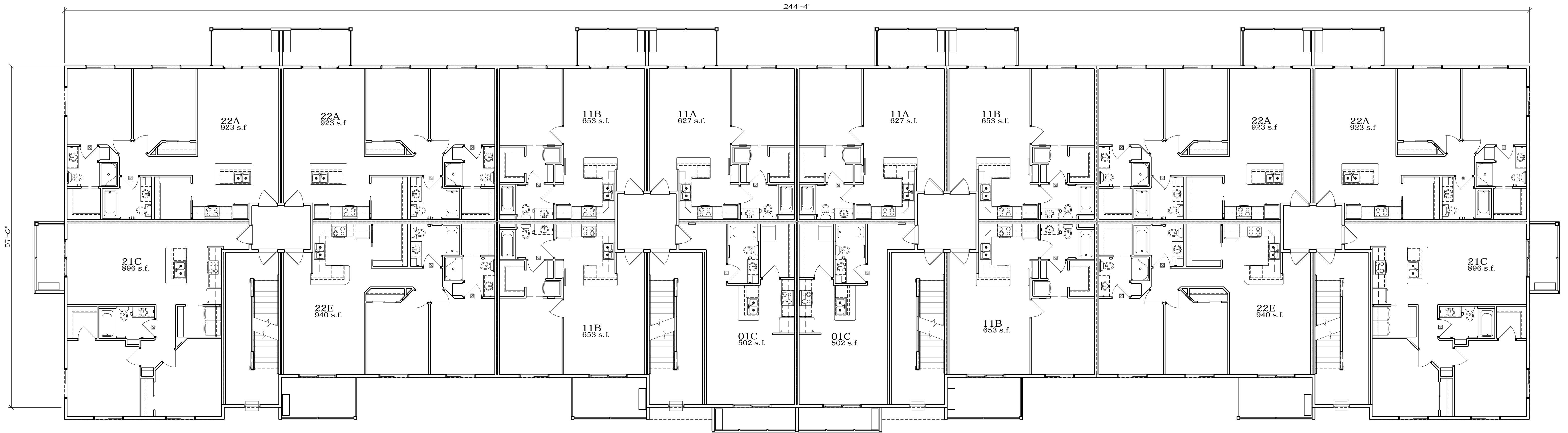
REVISION	DATE
1	XX

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DATE: 4/7/2023
 PROJECT NO.: 1811402
 SHEET: **A**
2.1

PRELIMINARY - NOT FOR CONSTRUCTION

SECOND FLOOR

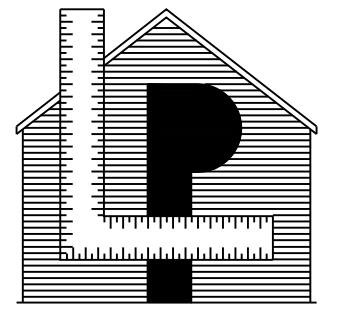


2112 BUILDING

PRELIMINARY - NOT FOR CONSTRUCTION

Duquaine Development
Bay Pointe Apartments LLC
2112 POD (3) Nasewaapee WI

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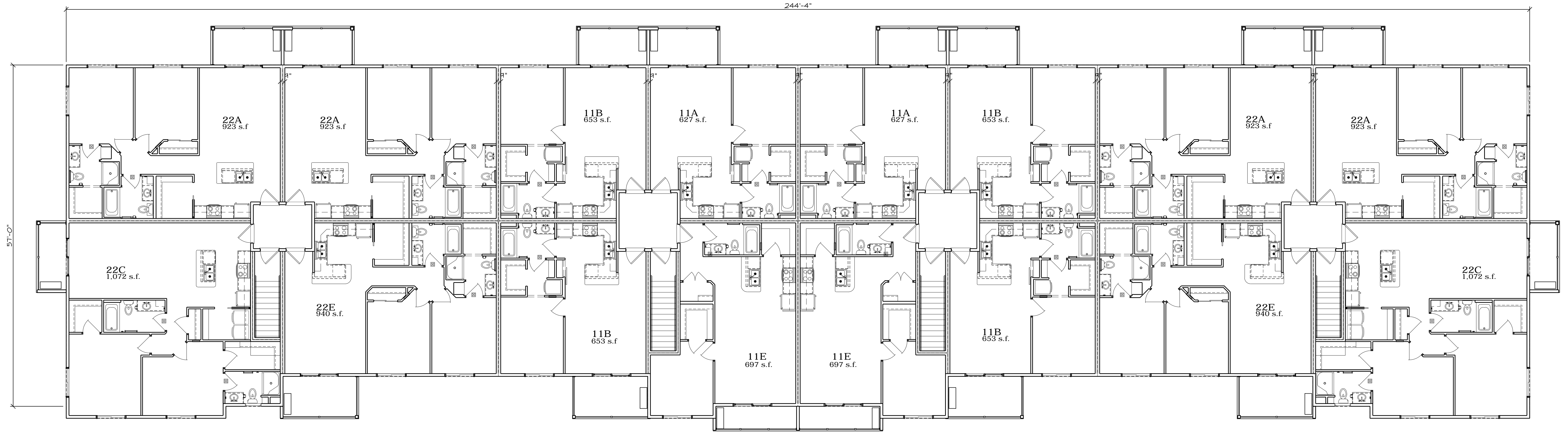

LaPlant
 Architecture, LLC
 EMAIL: lapanarchitecture@yahoo.com

OFFICE: 926 WILLARD DRIVE
 GREEN BAY, WISCONSIN
 MAILING: 1592 RUSTIC WAY
 GREEN BAY, WISCONSIN 54313
 Telephone: (920) 737-9769

REVISION	DATE
1	XX

DATE: 4/7/2023
 PROJECT NO.: 1811402
 SHEET: **A**
2.2

THIRD FLOOR



2112 BUILDING

PRELIMINARY - NOT FOR CONSTRUCTION

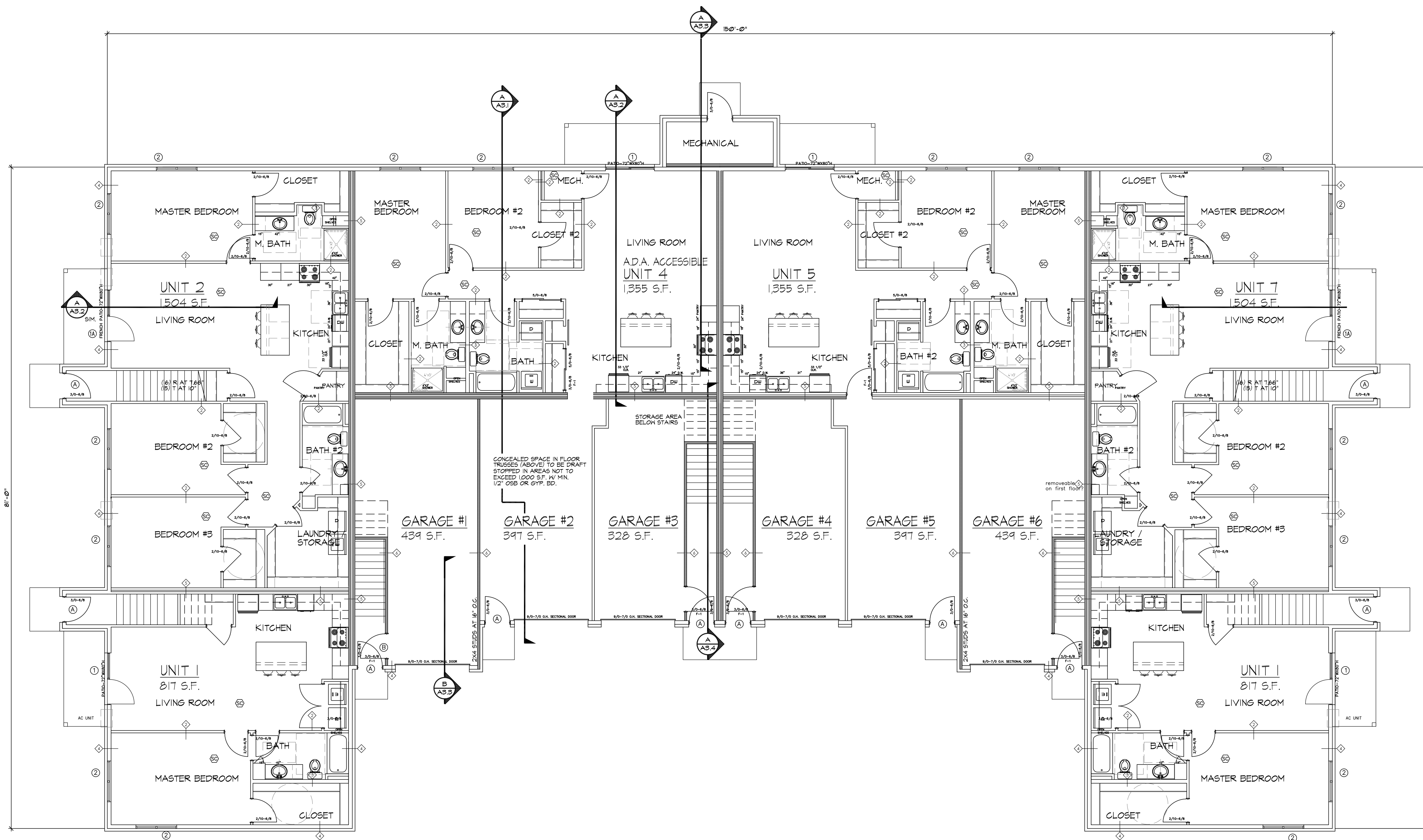
Duquaine Development
Bay Pointe Apartments LLC
2112 POD (3) Nasewaapee WI

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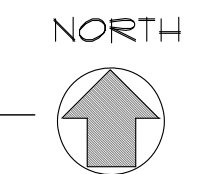
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 Architecture, LLC
 EMAIL: laplanarchitecture@yahoo.com
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 GREEN BAY, WISCONSIN
 MAILING: 1592 RUSTIC WAY
 GREEN BAY, WISCONSIN 54313
 Telephone: (920) 737-9769

REVISION	DATE
1	XX

DATE: 4/7/2023
 PROJECT NO.: 1811402
 SHEET: **A**
2.3



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



14 UNIT APARTMENT BUILDING
EACH WITH PRIVATE ENTRY

REV. NO.	DATE	DESCRIPTION

Architect:
Daniel J. Meissner
AIA, LLC
1230 E. Calumet Street
Appleton, WI
920.428.0982
daniel.meissnerarch@gmail.com

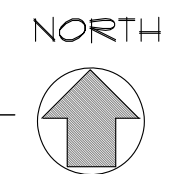
Design Consultant:
Concept One LLC
325 E. KALB AVE
GREEN BAY, WISCONSIN
920.680.4060
efisher.conceptone@gmail.com

PROPOSED MULTI-FAMILY BUILDINGS FOR:
DUQUANE DEVELOPMENT
NORTH MONROE STREET
WATERLOO, WISCONSIN

DATE 3/24/23
SHEET A.1
PROJECT NUMBER DQ-22102



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



14 UNIT APARTMENT BUILDING
EACH WITH PRIVATE ENTRY

REV. NO.	DATE	DESCRIPTION

Architect:
Daniel J. Meissner
AIA, LLC danielmeissnerarch@gmail.com
1230 E. Calumet Street, Appleton, WI
920.428.0982

Design Consultant:
Concept One LLC
325 E. KALB AVE
GREEN BAY, WISCONSIN
(920) 680-4060
efisher.conceptone@gmail.com

PROPOSED MULTI-FAMILY BUILDINGS FOR:
DUQUANE DEVELOPMENT
NORTH MONROE STREET
WATERLOO, WISCONSIN

DATE
3/24/23
SHEET
A1.2
PROJECT NUMBER
DQ-22102



FRONT ELEVATION
SCALE: 3/16" = 1'-0"



UPPER FLOOR
SIDE ELEVATION
SCALE: 3/16" = 1'-0"



BACK ELEVATION
SCALE: 3/16" = 1'-0"

14 UNIT APARTMENT BUILDING

REV. NO.	DATE	DESCRIPTION

Architect:
Daniel J. Meissner
AIA, LLC daniel.meissnerarch@gmail.com
1230 E. Calumet Street Appleton, WI
920.428.0982

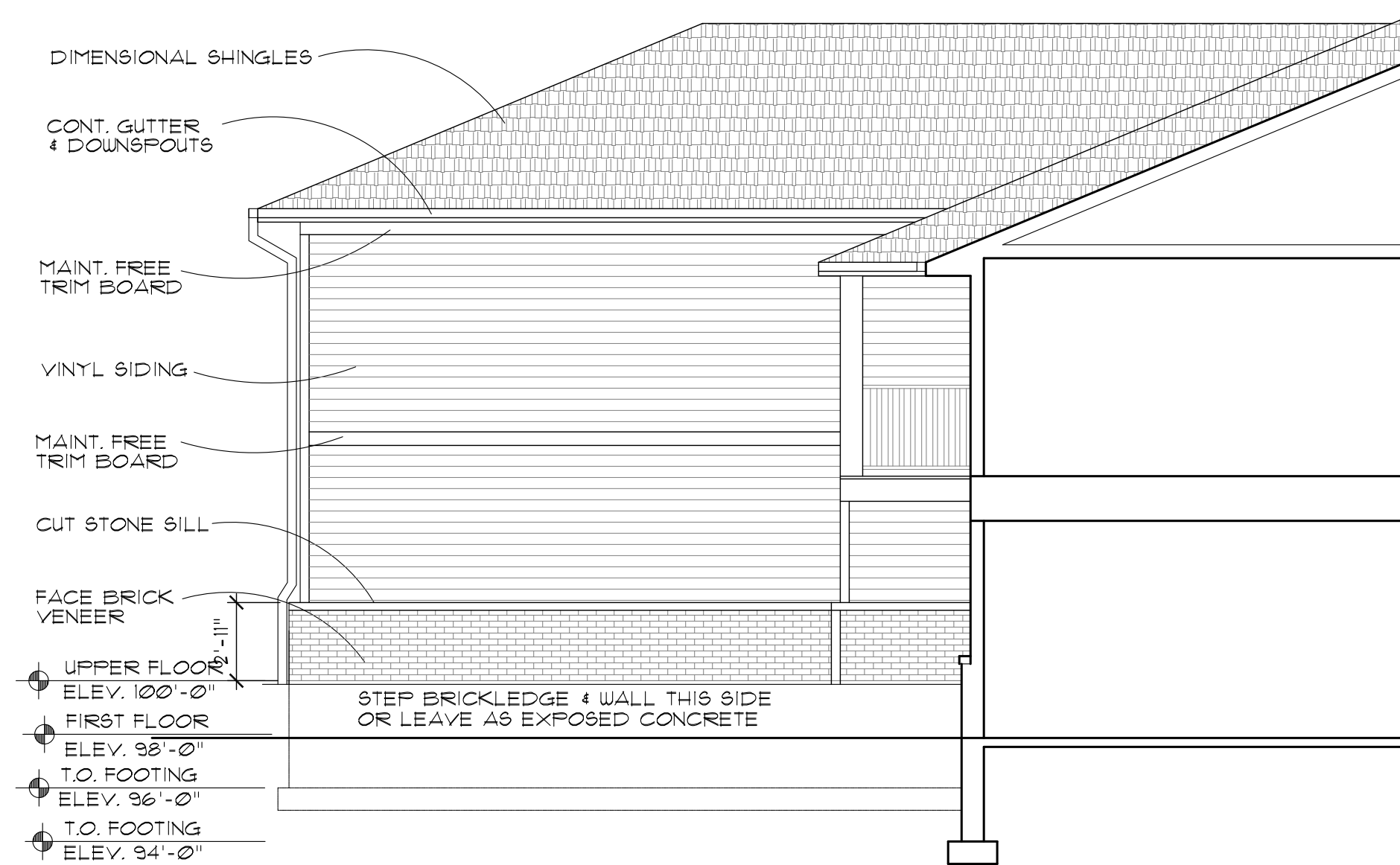
Design Consultant:
Concept One LLC
325 E. KALB AVE
GREEN BAY, WISCONSIN
(920) 680-4060
efisher.conceptone@gmail.com

PROPOSED MULTI-FAMILY BUILDINGS FOR
DUQUANE DEVELOPMENT
NORTH MONROE STREET
WATERLOO, WISCONSIN

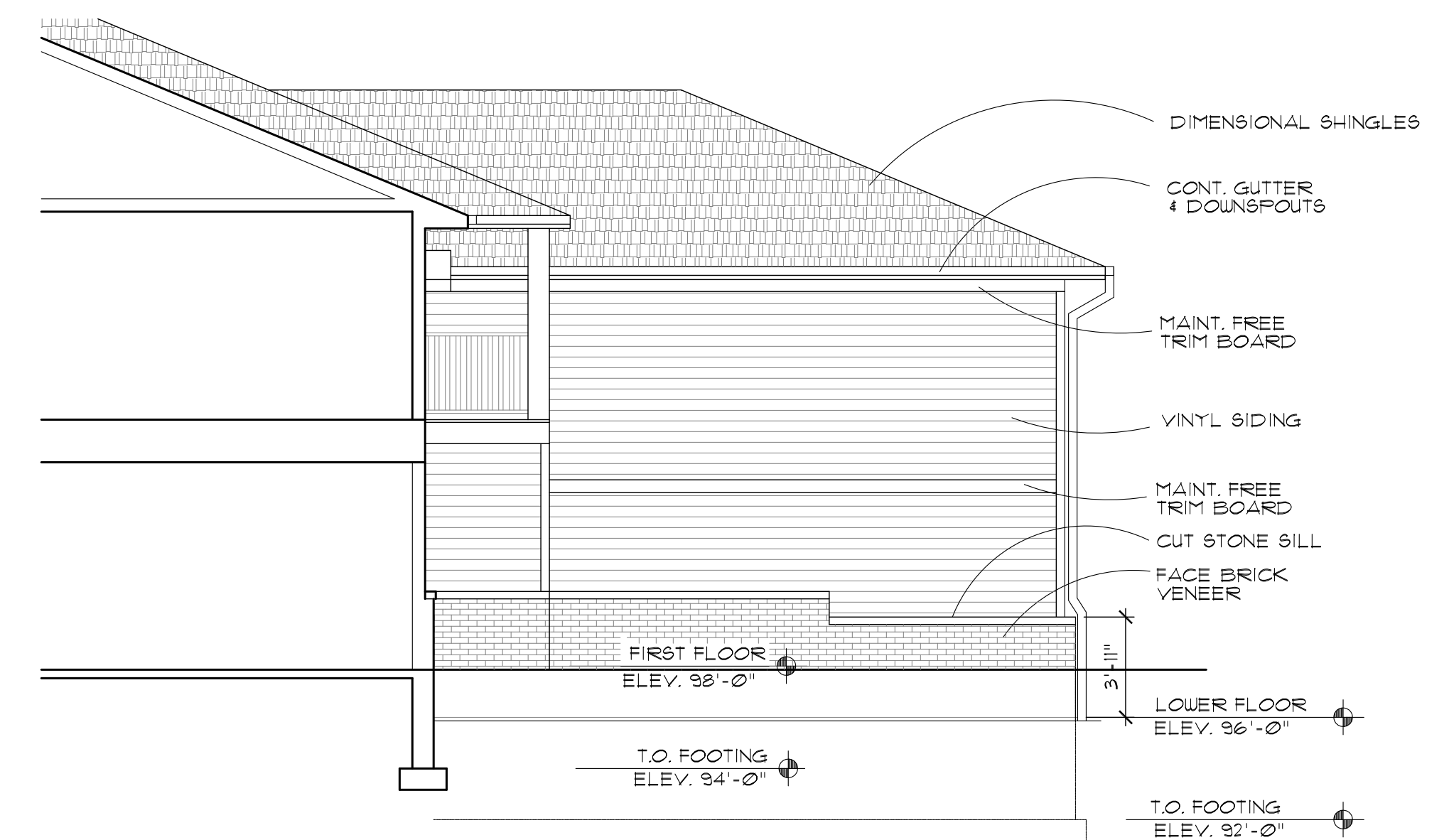
DATE
9/27/22
SHEET
A2.1A
PROJECT NUMBER
DQ-22102



LOWER FLOOR
SIDE ELEVATION
SCALE: 3/16" = 1'-0"



PARTIAL UPPER FLOOR
SIDE ELEVATION
SCALE: 3/16" = 1'-0"



PARTIAL LOWER FLOOR
SIDE ELEVATION
SCALE: 3/16" = 1'-0"

14 UNIT APARTMENT BUILDING

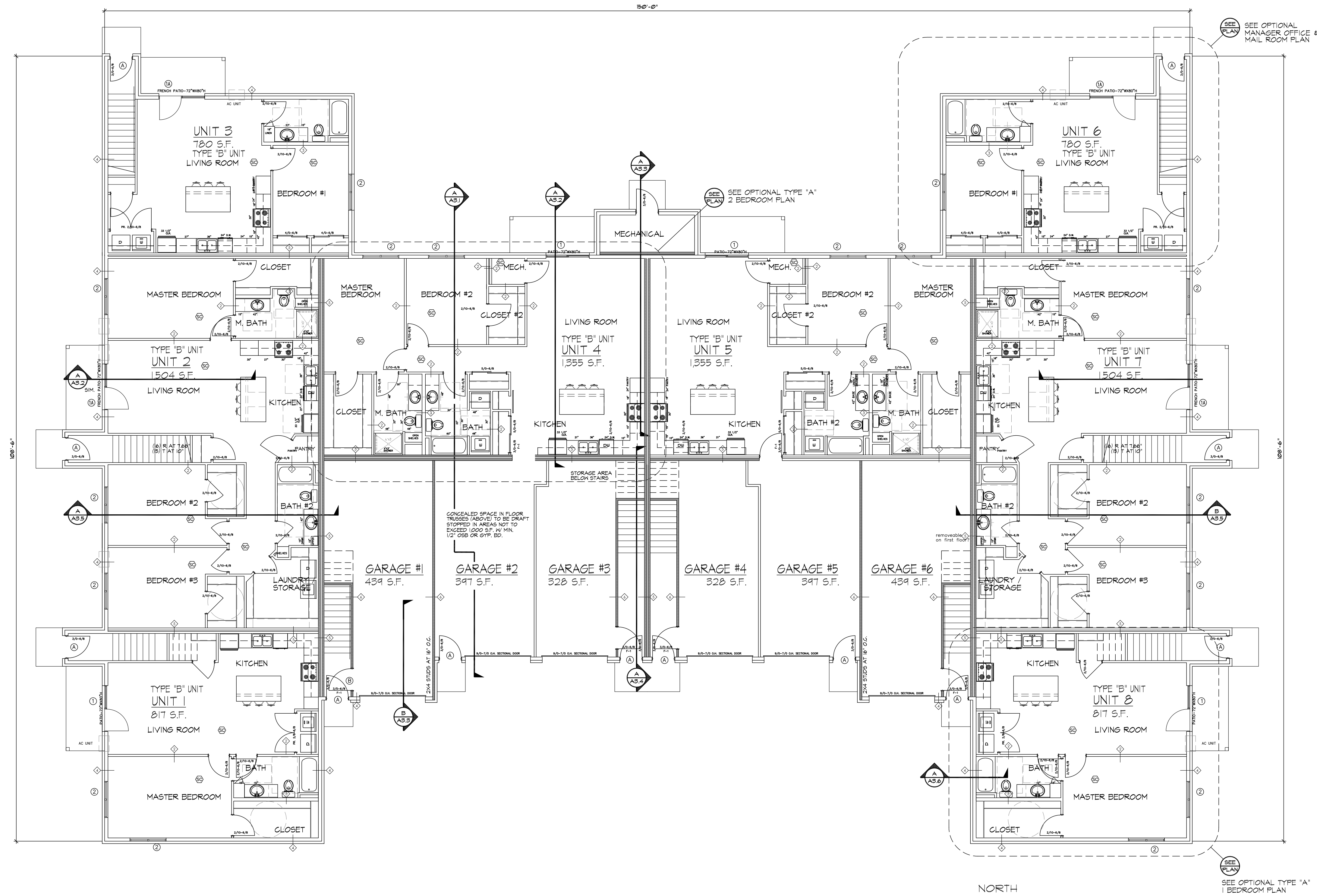
REV. NO.	DATE	DESCRIPTION

Architect:
Daniel J. Meissner
AIA, LLC daniel.meissnerarch@gmail.com
1230 E. Calumet Street Appleton, WI
920.428.0982

Design Consultant:
Concept One LLC
325 E. KALB AVE
GREEN BAY, WISCONSIN
(920) 680-4060
efisher.conceptone@gmail.com

PROPOSED MULTI-FAMILY BUILDINGS FOR:
DUQUANE DEVELOPMENT
NORTH MONROE STREET
WATERLOO, WISCONSIN

DATE	3/24/23
SHEET	A2.2
PROJECT NUMBER	DQ-22102



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

18 UNIT APARTMENT BUILDING
EACH WITH PRIVATE ENTRY

REV. NO.	DATE	DESCRIPTION

Architect:
Daniel J. Meissner
AIA, LLC daniel.meissnerarch@gmail.com
1230 E. Calumet Street Appleton, WI
920.428.0982

Design Consultant:
Concept One LLC
325 E. KALB AVE
GREEN BAY, WISCONSIN
(920) 680-4060
efisher.conceptone@gmail.com

PROPOSED MULTI-FAMILY BUILDINGS FOR:
DUQUANE DEVELOPMENT
NORTH MONROE STREET
WATERLOO, WISCONSIN

DATE 3/24/23
SHEET A.1
PROJECT NUMBER DQ-22102



FRONT ELEVATION
SCALE: 3/16" = 1'-0"



UPPER FLOOR
SIDE ELEVATION
SCALE: 3/16" = 1'-0"



BACK ELEVATION
SCALE: 3/16" = 1'-0"

18 UNIT APARTMENT BUILDING

REV. NO.	DATE	DESCRIPTION

Architect:
Daniel J. Meissner
AIA, LLC danielmeissnerarch@gmail.com
1230 E. Calumet Street Appleton, WI
920.428.0982

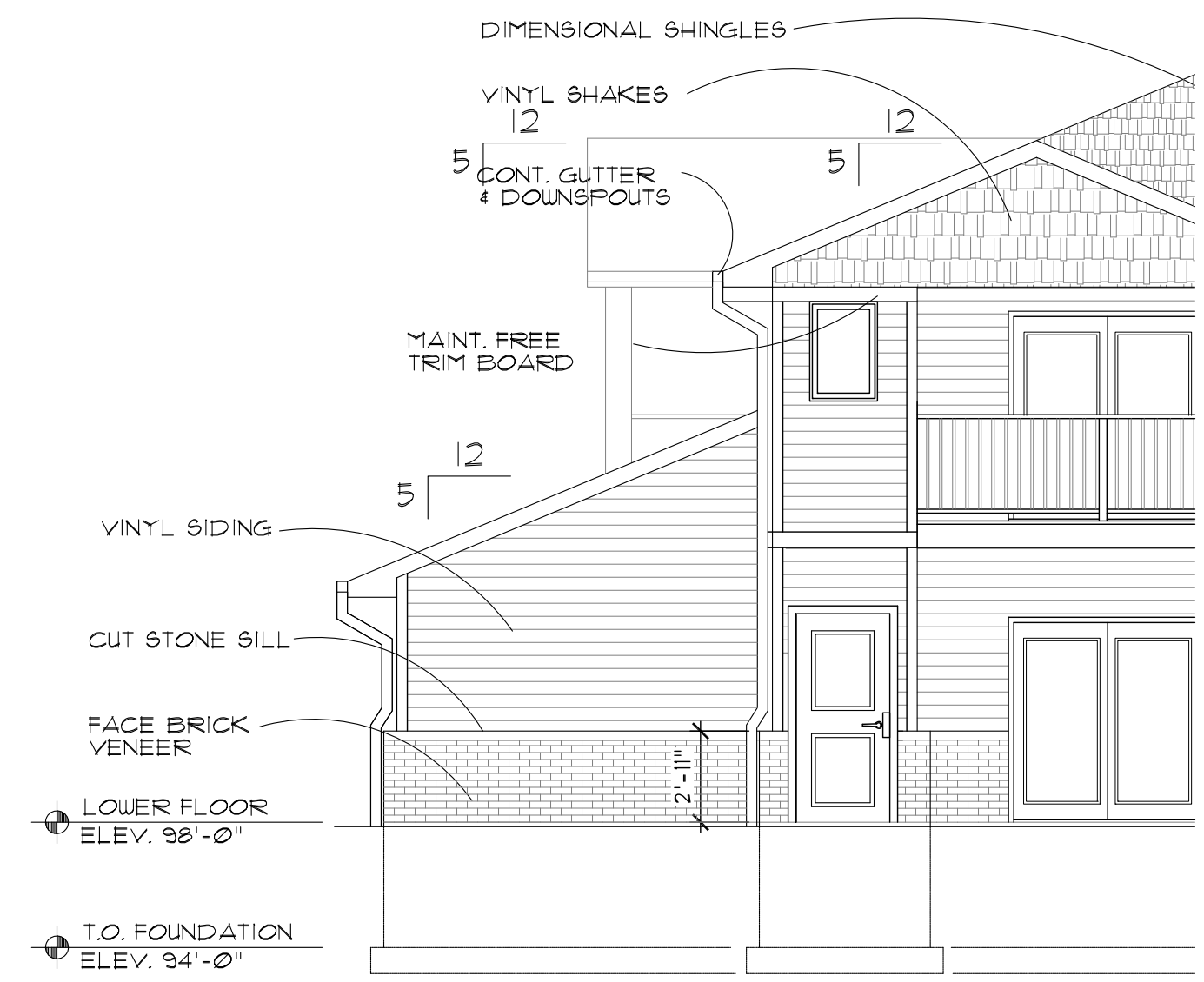
Design Consultant:
325 E. KALB AVE
GREEN BAY, WISCONSIN
(920) 680-4060
efisher.conceptone@gmail.com
Concept One LLC

PROPOSED MULTI-FAMILY BUILDINGS FOR:
DUQUANE DEVELOPMENT
NORTH MONROE STREET
WATERLOO, WISCONSIN

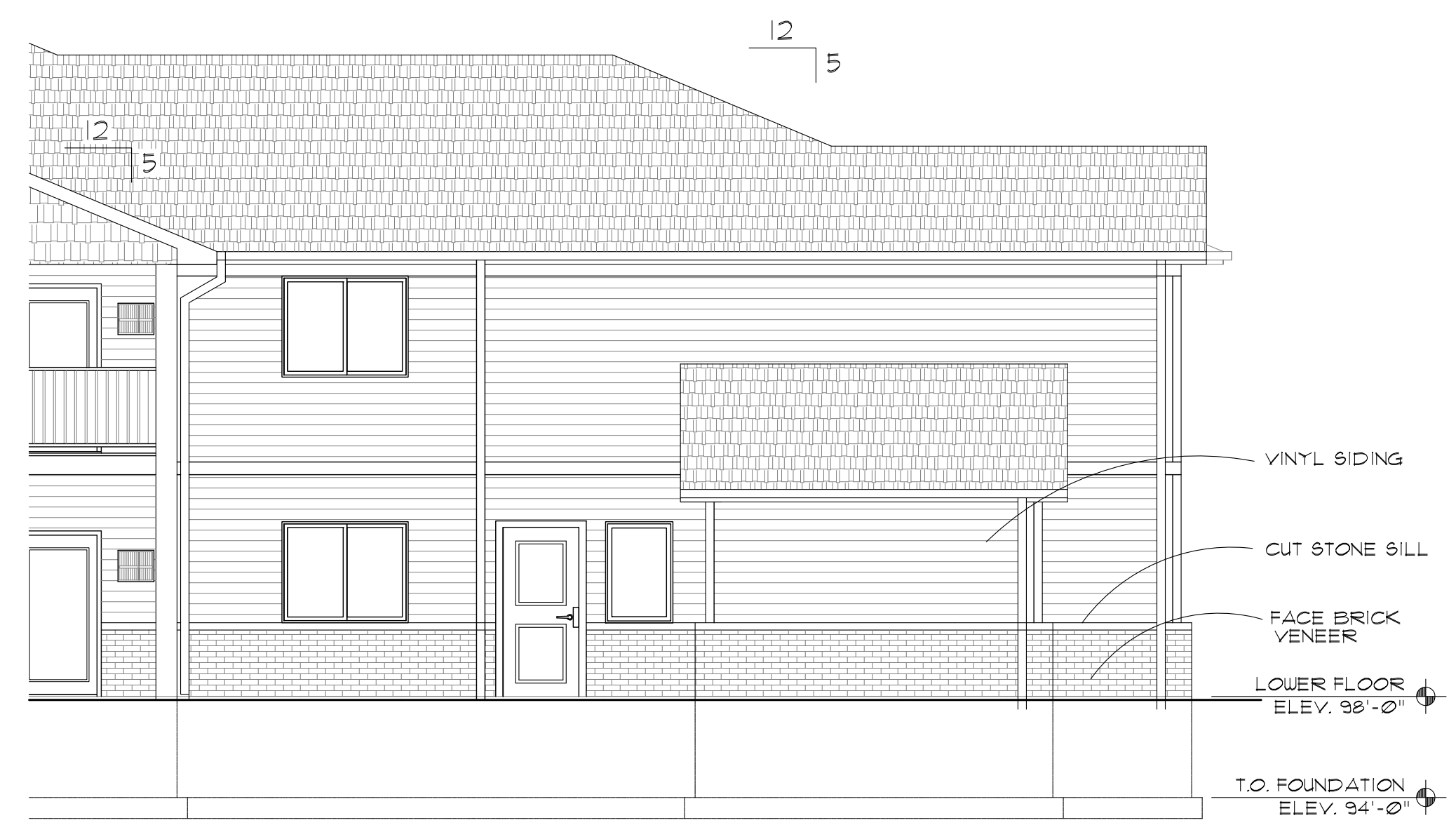
DATE
3/24/23
SHEET
A2.1
PROJECT NUMBER
DQ-22102



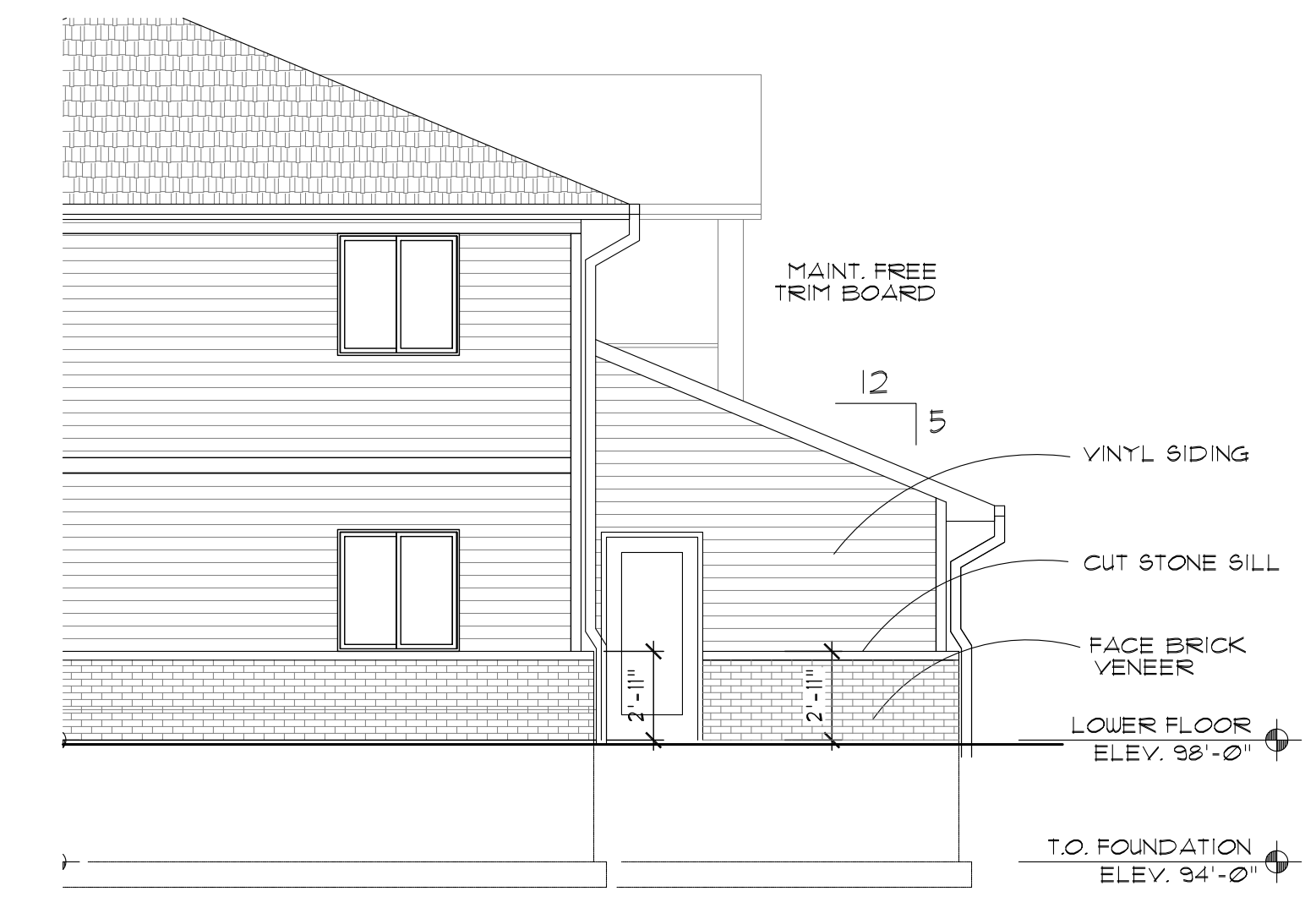
LOWER FLOOR
SIDE ELEVATION
SCALE: 3/16" = 1'-0"



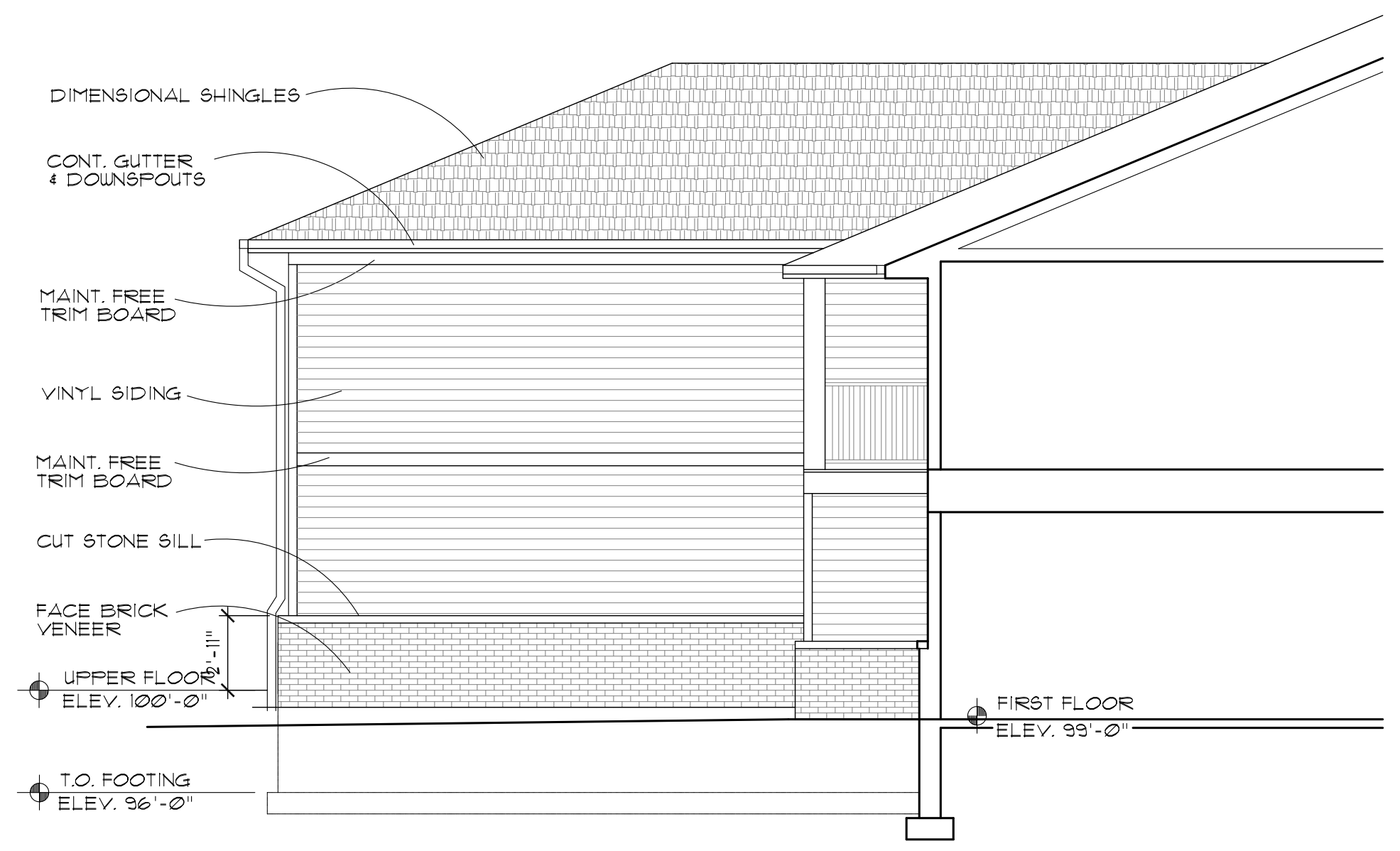
LOWER FLOOR MAIL ROOM
SIDE ELEVATION
SCALE: 3/16" = 1'-0"



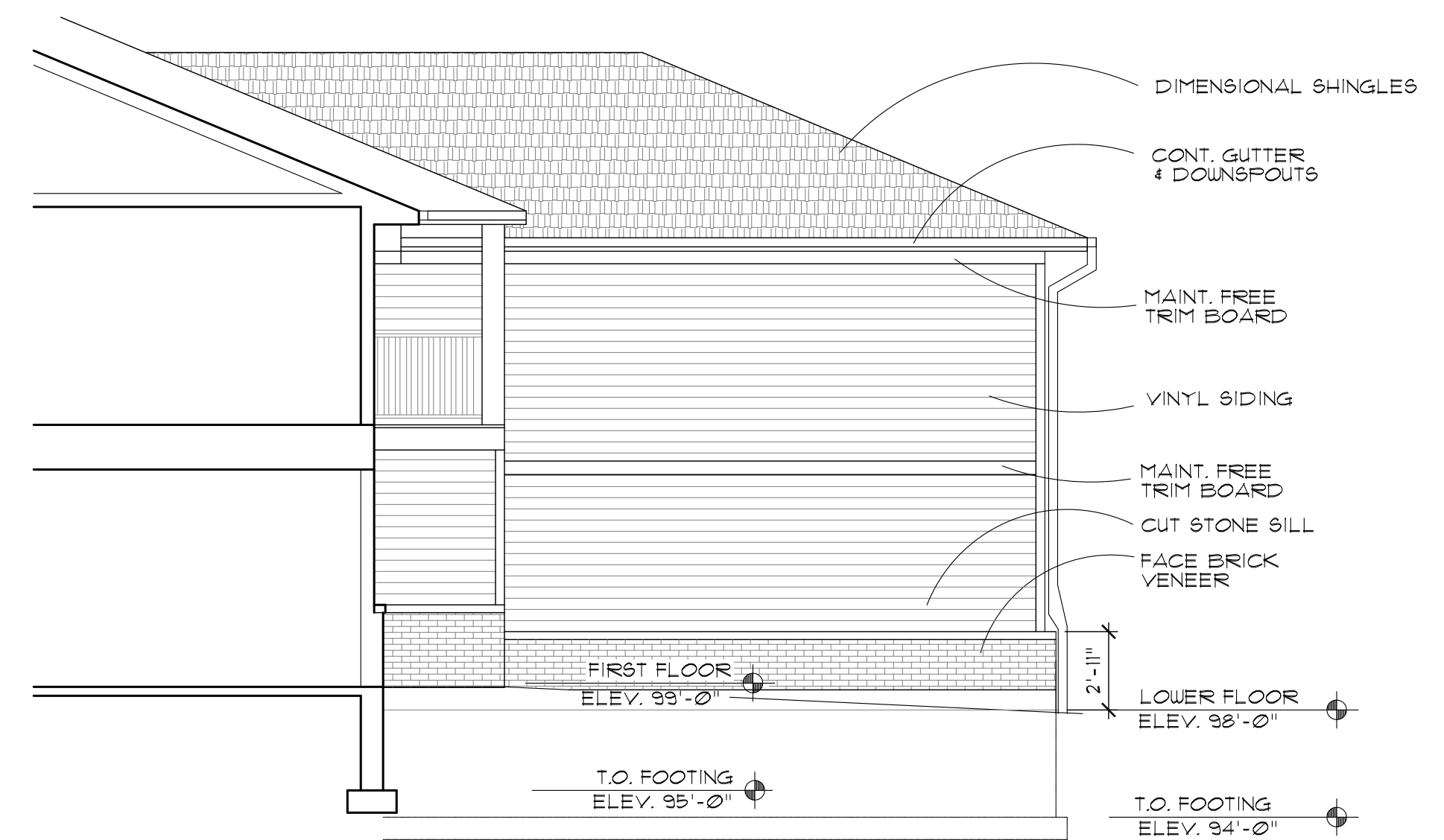
LOWER FLOOR MAIL ROOM/
OFFICE SIDE ELEVATION
SCALE: 3/16" = 1'-0"



LOWER FLOOR MAIL ROOM
SIDE ELEVATION
SCALE: 3/16" = 1'-0"



PARTIAL UPPER FLOOR
SIDE ELEVATION
SCALE: 3/16" = 1'-0"



PARTIAL LOWER FLOOR
SIDE ELEVATION
SCALE: 3/16" = 1'-0"

18 UNIT APARTMENT BUILDING

REV. NO.	DATE	DESCRIPTION

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Design Consultant:
One LLC
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PROPOSED MULTI-FAMILY BUILDINGS FOR:
DUQUANE DEVELOPMENT
NORTH MONROE STREET
WATERLOO, WISCONSIN

DATE
2/27/23
SHEET
A2.2
PROJECT NUMBER
DQ-22102