



136 North Monroe Street  
Waterloo, WI 53594  
Phone: (920) 478-3025  
Fax: (920) 478-2021  
[www.waterloowi.us](http://www.waterloowi.us)

**CITY OF WATERLOO COUNCIL AGENDA**  
**COUNCIL CHAMBER OF THE MUNICIPAL BUILDING – 136 N. MONROE STREET**  
**Thursday, May 4, 2023 – 7:00 p.m.**

Pursuant to Section 19.84 Wisconsin Statutes, notice is hereby given to the public and news media, that a public meeting will be held to consider the following:

- 1) CALL TO ORDER, PLEDGE OF ALLEGIANCE AND ROLL CALL
- 2) MEETING MINUTES APPROVAL: April 20, 2023
- 3) CITIZEN INPUT / PUBLIC COMMENT
- 4) COUNCIL NOTICE – PUBLISHED NOTICES
  - a) Notice to Cut or Destroy Noxious Weeds
- 5) OLD BUSINESS
- 6) MEETING SUMMARIES (since last Council meeting)
  - a) 04/21/2023 Fire/EMS General Meeting
  - b) 04/25/2023 Library Board Meeting
  - c) 04/25/2023 Plan Commission
  - d) 05/02/2023 Waterloo Water & Light Commission
  - e) 05/04/2023 Public Safety & Health Committee
  - f) 05/04/2023 Public Works & Property Committee
- 7) RECOMMENDATIONS OF BOARDS, COMMITTEES AND COMMISSIONS
  - a) Plan Commission
    - i) Van Holten addition of Brine Recycle Building and Holding Tank area.
    - ii) Trek sign large sign permit at 268 Jackson St
    - iii) Duquaine approval of site concept
  - b) Finance & Personnel Committee
    - i) Civic Systems City Hall Training
- 8) NEW BUSINESS
  - a) New Library Board Member Approval– Diane Graff for 2023-2026
  - b) Resolution 2023-17 Wisconsin Department of Transportation 2023-2026 Transportation Alternatives Program (TAP) Award Cycle
  - c) Resolution 2023-18 Seasonal Hours for DPW and City Hall
- 9) FUTURE AGENDA ITEMS AND ANNOUNCEMENTS -
- 10) ADJOURNMENT

Jeanne Ritter Clerk/Deputy Treasurer

Posted & Emailed: 04/28/2023.

PLEASE NOTE: It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above meeting(s) to gather information. No action will be taken by any governmental body other than that specifically noticed. Also, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request such services please contact the clerk's office at the above location

**CITY OF WATERLOO COMMON COUNCIL - MEETING MINUTES: April 20, 2023**

[a digital recording of this meeting also serves as the official record]

**\*\*\* ANNUAL ORGANIZATIONAL MEETING \*\*\***

1. CALL TO ORDER, PLEDGE OF ALLEGIANCE AND ROLL CALL. Mayor Quimby called the meeting to order at 7:00 pm. Alderpersons present: Cummings(7:20 pm), A. Kuhl, C. Kuhl, Griffin, Thomas, Weihert and Petts. Attending Remotely: none Absent: none. Others attending remotely or in-person: DPW Director Yerges; Police Chief D. Sorenson; Utility Superintendent B. Sorenson; Treasurer Nelson; Fire Chief W. Benisch; Clerk Ritter and J. Hoglund from Baker Tilly.
2. ORGANIZATIONAL MATTERS
  - a. Discussion Of Organizational Opportunities
  - b. Resolution 2023-13 Appointing the Official Newspaper, Depositories and Auditors Motion [Petts/Griffin] VOICE VOTE: Motion carried.
  - c. Election of Council President as Specified in Chapter 30-1 (F) Of the Waterloo Code. Motion to elect Tim Thomas Council President. [Petts/Griffin] VOICE VOTE: Motion carried.
  - d. Resolution 2023-14 Council Confirmation of Mayoral Appointments & Council Standing Committees. Motion [A.Kuhl/Weihert] VOICE VOTE: Motion carried.
  - e. Resolution 2023-15 Confirmation of Waterloo Fire Department Appointments. Motion [C.Kuhl/Griffin] VOICE VOTE: Motion carried.
3. ANNUAL ORGANIZATIONAL MEETING ADJOURNMENT [Petts/C.Kuhl] VOICE VOTE: Motion carried.

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**\*\*\*REGULARLY SCHEDULED CITY COUNCIL BUSINESS\*\*\***

- 1) MEETING MINUTES APPROVAL: April 6, 2023 Open and Closed. Motion [A.Kuhl/Petts] VOICE VOTE : Motion carried.
- 2) CITIZEN INPUT / PUBLIC COMMENT (3-Minute time limit) None
- 3) OLD BUSINESS. None
- 4) NEW BUSINESS
  - a) 2022 Audit Presentation, Baker Tilly -Justin Hoglund gave presentation to Council
  - b) ORDINANCE 2023-07 CHAPTER §85 Updates Motion [C. Kuhl/A. Kuhl] VOICE VOTE : Motion carried.
  - c) ORDINANCE 2023-08 CHAPTER §30-8 Common Council Procedure to fill vacancies on Common Council with updated application. Motion [Petts/Cummings] VOICE VOTE: Motion carried.
  - d) ORDINANCE 2023-09 CHAPTER §30-6 Common Council Standing Committee. Motion [Petts/Cummings] VOICE VOTE: Motion carried.
  - e) Town of Waterloo EMS Contract. Motion agreeing to accept Town of waterloo additional residences. [Thomas/Kuhl] VOICE VOTE: Motion carried.
- 5) MEETING SUMMARIES (since last Council meeting)
  - a) 04/13/2023 Special Finance and Library Meeting
  - b) 04/18/2023 CDA

c) 04/20/2023 Finance, Insurance & Personnel Committee

6) CONSENT AGENDA ITEMS Motion[Petts/Cummings] VOICE VOTE: Motion carried.

a) March Reports of City Officials & Contract Service Providers

- i) Parks
- ii) Fire & Emergency Medical Services
- iii) Building Inspections
- iv) Public Works
- v) Police
- vi) Library Board
- vii) Water & Light Utility Commission
- viii) Watertown Humane Society
- ix) Waterloo Cable Board

7) RECOMMENDATIONS OF BOARDS, COMMITTEES AND COMMISSIONS

a) Public Safety

- i) 2023-06 §350-13UTV/ATV. Update hours of use. Motion for non use hours to be 12pm-5pm. [Thomas/ no second] Motion dies. New Motion unlimited hours of use. [Petts/Weihert] ROLL CALL Ayes 5 Noes 2 Motion carried.

b) Finance, Insurance & Personnel

- i) March 2023 Financial Statements: General Disbursements \$346,717.18; Payroll \$78,518.07 & Clerk/Treasurer's Reports [[see on municipal website](#)] Motion [Thomas/Cummings] ROLL CALL Ayes 7 Noes 0 Motion carried.
- ii) City Hall Shredding Bids Motion to accept Pelletteri to do City Shredding.[C. Kuhl/Petts] VOICE VOTE: Motion carried.
- iii) Resolution 2023-16 Awarding Waterloo Road Contract. Motion [Petts/Weihert] ROLL CALL: Ayes 7 Noes 0 Motion carried.

8) FUTURE AGENDA ITEMS AND ANNOUNCEMENTS

9) ADJOURNMENT Motion [C. Kuhl/Petts] VOICE VOTE: Motion carried.

Attest:

Jeanne Ritter Clerk/Deputy Treasurer



136 North Monroe Street, Waterloo, Wisconsin 53594-1198  
Phone (920) 478-3025  
Fax (920) 478-2021

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**RESOLUTION #2023-18**  
**Seasonal Hours for DPW and City Hall**

The Common Council of the City of Waterloo, Wisconsin does hereby resolve as follows:

**WHEREAS**, the City Council recommends seasonal hours for the Department of Public Works Starting the week of April 24, 2023 and running through September 2023.

**WHEREAS**, the DPW will work 4 -10 hour days (Monday – Thursday) and City Hall will close at noon on Friday's.

**THEREFORE BE IT RESOLVED**, the City of Waterloo Common Council approves seasonal hours as stated above.

**PASSED AND ADOPTED** this \_\_\_\_ day of \_\_\_\_\_ 2023.

**City of Waterloo**

Signed: \_\_\_\_\_  
Jenifer Quimby, Mayor

Attest:

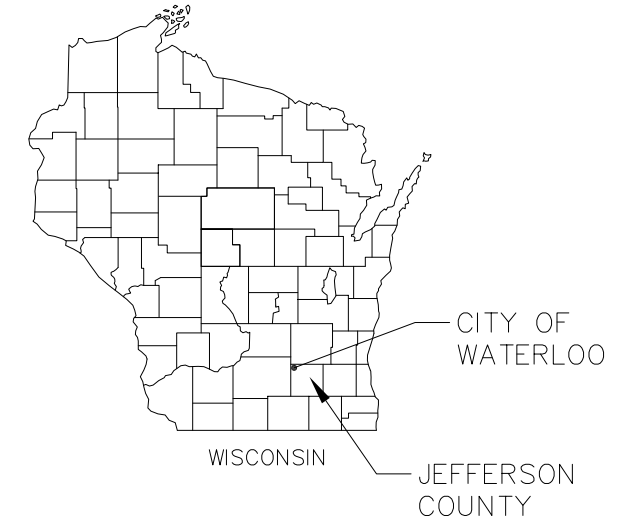
\_\_\_\_\_  
Jeanne Ritter, Clerk

# VAN HOLTEN'S BUILDING ADDITION

CITY OF WATERLOO  
JEFFERSON COUNTY, WISCONSIN



vierbicher  
planners | engineers | advisors



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE  
1-800-242-8511

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	NOTES & LEGENDS
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	SITE & UTILITY PLAN
5	GRADING & EROSION CONTROL PLAN
6	DETAILS

TITLE SHEET

VAN HOLTEN'S BUILDING ADDITION  
CITY OF WATERLOO  
JEFFERSON COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE	3/24/2023
DRAFTER	BBAR
CHECKED	----
PROJECT NO.	220224
SHEET	1 OF 6

**NOT FOR CONSTRUCTION**

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
EXISTING CURB INLET
EXISTING ENDWALL
EXISTING ROOF DRAIN
EXISTING STORM MANHOLE
EXISTING GAS METER
EXISTING TRANSFORMER
EXISTING GENERIC LIGHT
EXISTING TV PEDESTAL
EXISTING TELEPHONE PEDESTAL
EXISTING SHRUB
EXISTING CONIFEROUS TREE
EXISTING DECIDUOUS TREE

SITE PLAN LEGEND

- PROPERTY BOUNDARY
CURB AND GUTTER (REVERSE CURB HATCHED)
PROPOSED CHAIN LINK FENCE
PROPOSED WOOD FENCE
PROPOSED CONCRETE
PROPOSED LIGHT-DUTY ASPHALT
PROPOSED HEAVY-DUTY ASPHALT

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
STORM SEWER MANHOLE
STORM SEWER ENDWALL
ROOF DRAIN CLEANOUT

TOPOGRAPHIC LINework LEGEND

- EXISTING UNDERGROUND CABLE TV
EXISTING UNDERGROUND TELEPHONE
EXISTING RETAINING WALL
EXISTING CHAIN LINK FENCE
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC LINE
EXISTING STORM SEWER LINE (SIZE NOTED)
EXISTING EDGE OF TREES
EXISTING WETLAND DELINEATION
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EXISTING EDGE OF PAVEMENT
EXISTING EDGE OF GRAVEL
EXISTING WETLANDS
EXISTING GRAVEL SURFACE
EXISTING CONCRETE SURFACE
EXISTING ASPHALT SURFACE

GRADING LEGEND

- EXISTING MAJOR CONTOURS
EXISTING MINOR CONTOURS
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
DITCH CENTERLINE
SILT FENCE
DISTURBED LIMITS
DRAINAGE DIRECTION
PROPOSED SLOPE ARROWS
EXISTING SPOT ELEVATIONS
PROPOSED SPOT ELEVATIONS

- INLET PROTECTION
EROSION MAT CLASS I, TYPE A
EROSION MAT CLASS II, TYPE B
EROSION MAT CLASS III, TYPE C
EROSION MAT CLASS II, TYPE A
TRACKING PAD
RIP RAP

ABBREVIATIONS table with symbols for TC, FF, FL, SW, TW, BW.

ABBREVIATIONS table with symbols for STMH, FI, CI, CB, EW, SMH.

DEMOLITION PLAN LEGEND

- CONCRETE REMOVAL
BUILDING REMOVAL
TREE REMOVAL
UTILITY STRUCTURE REMOVAL
UTILITY LINE REMOVAL

DEMOLITION NOTES:

- CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC.

SITE PLAN NOTES:

- CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.

GRADING NOTES:

- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
CROSS SLOPE OF SIDEWALKS SHALL BE 2.0% UNLESS OTHERWISE NOTED.

UTILITY NOTES:

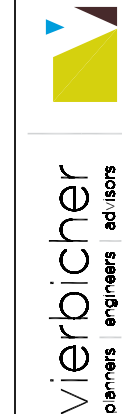
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.

EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY/VILLAGE/TOWN/COUNTY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS.
INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.

GENERAL NOTES:

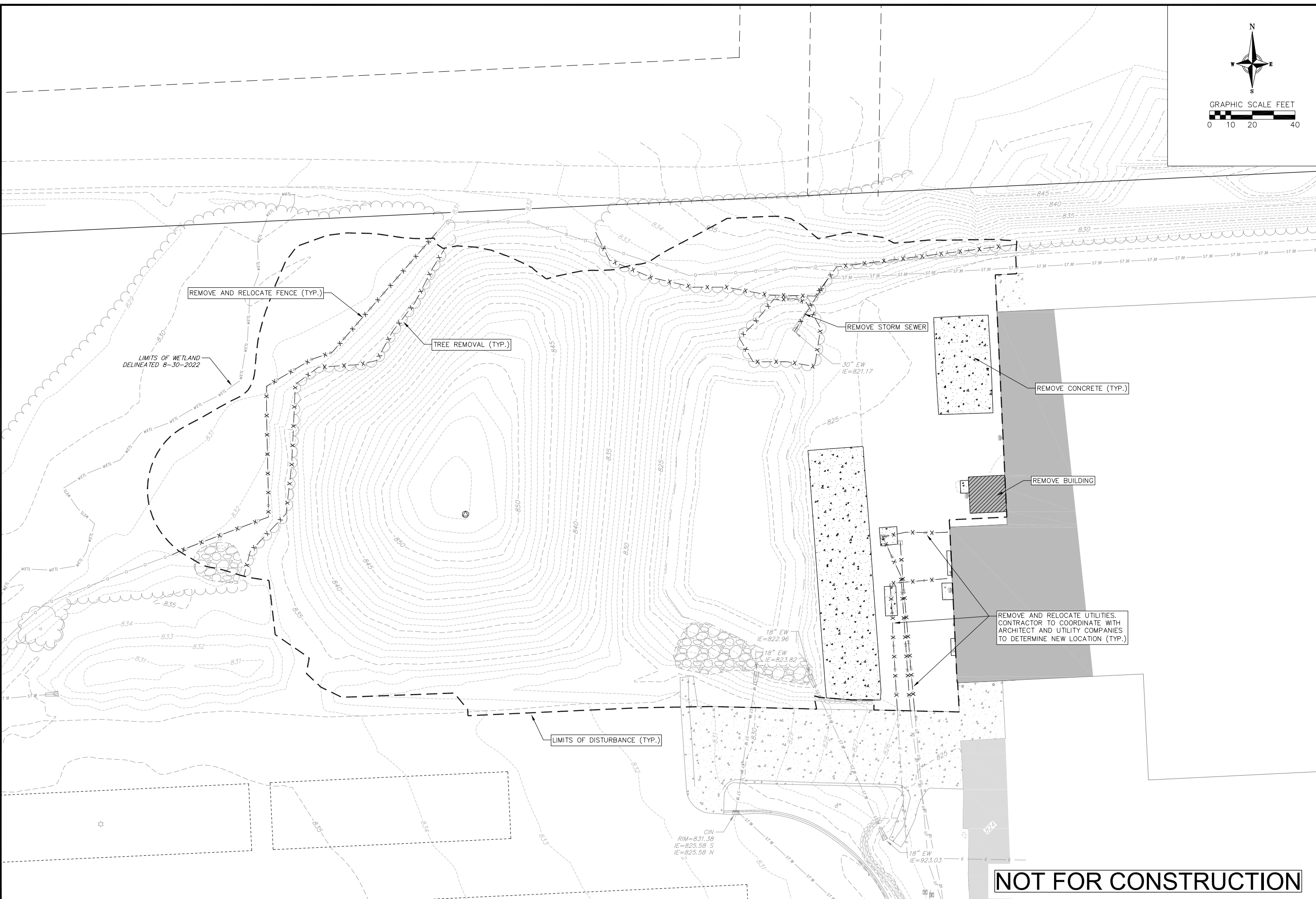
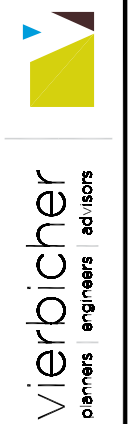
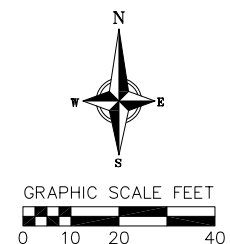
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.



NOTES & LEGENDS
VAN HOLTEN'S BUILDING ADDITION
CITY OF WATERLOO
JEFFERSON COUNTY, WISCONSIN

Table with columns for REVISIONS, NO., DATE, REMARKS. Includes draft date 3/24/2023 and drafter BBAR.

NOT FOR CONSTRUCTION



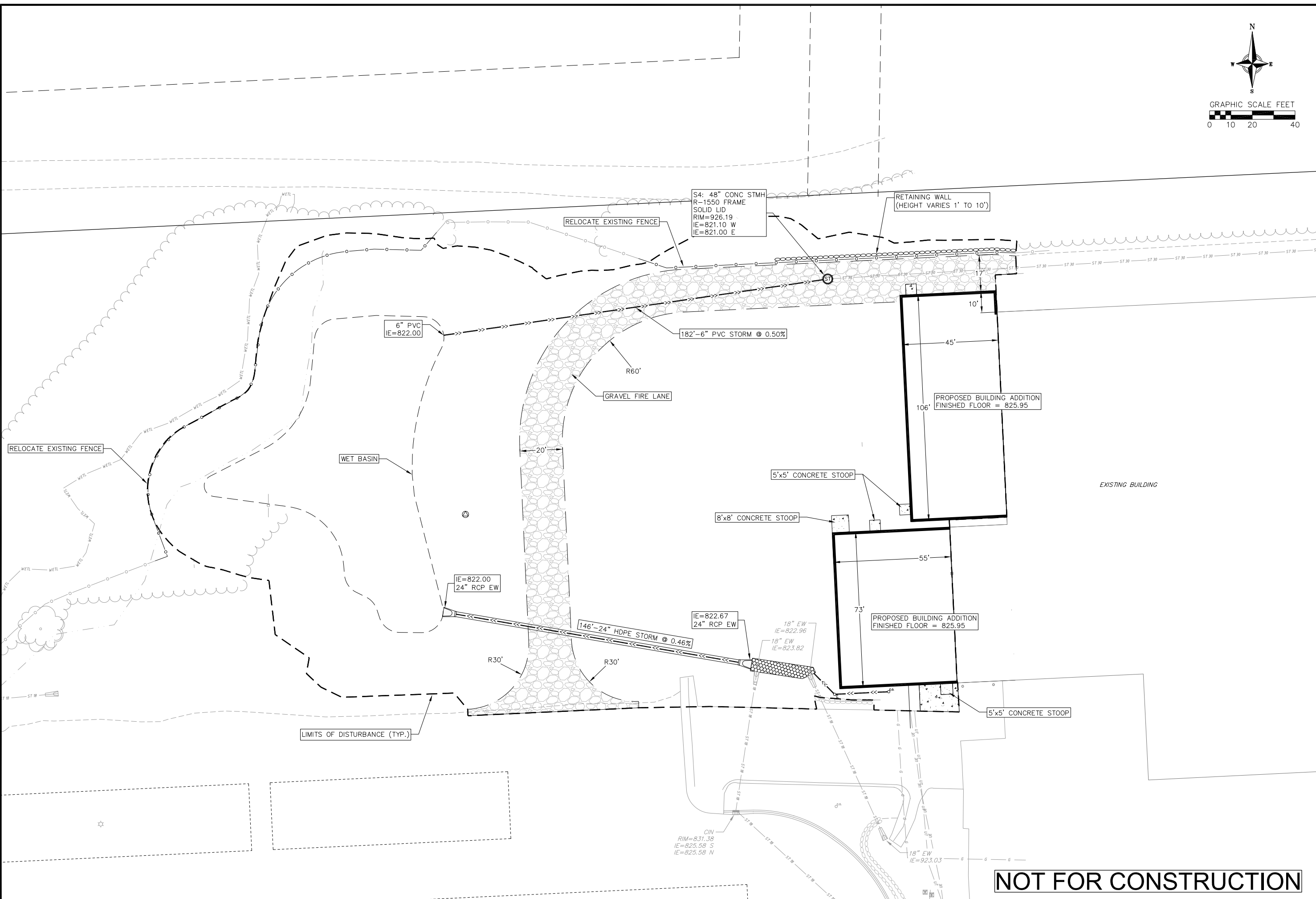
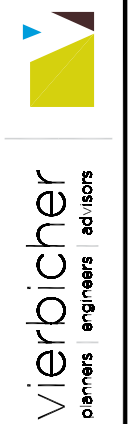
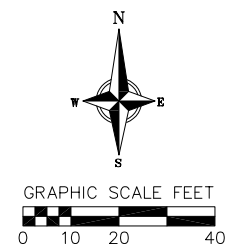
EXISTING CONDITIONS & DEMOLITION PLAN

VAN HOLLEN'S BUILDING ADDITION  
CITY OF WATERLOO  
JEFFERSON COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE	3/24/2023
DRAFTER	BBAR
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PROJECT NO.	220224
SHEET	3 OF 6



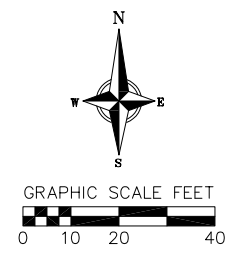
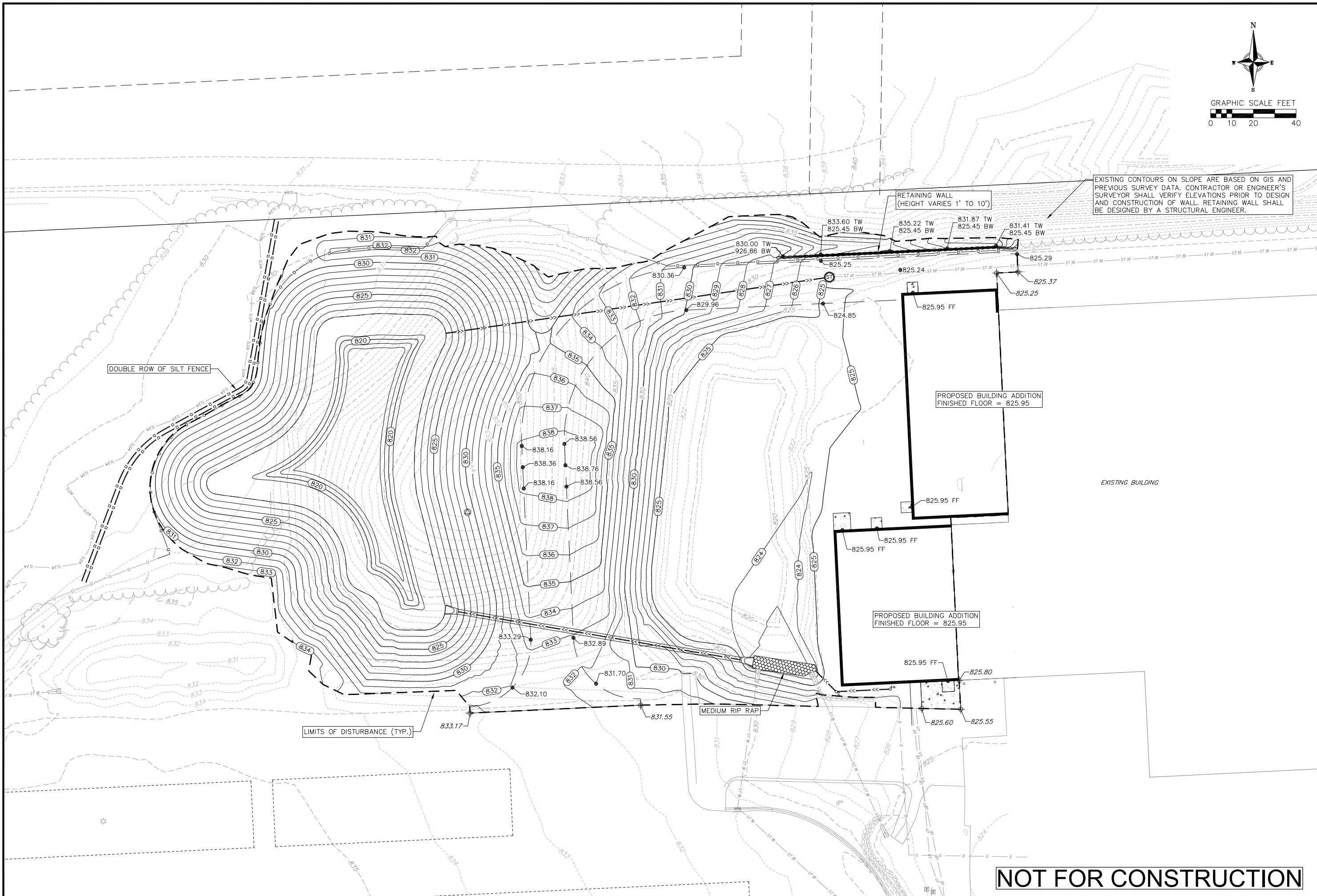
**SITE & UTILITY PLAN**  
VAN HOLTEN'S BUILDING ADDITION  
CITY OF WATERLOO  
JEFFERSON COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 3/24/2023  
 DRAFTER: BBAR  
 CHECKED: ---  
 PROJECT NO.: 220224  
 SHEET: 4 OF 6

**NOT FOR CONSTRUCTION**





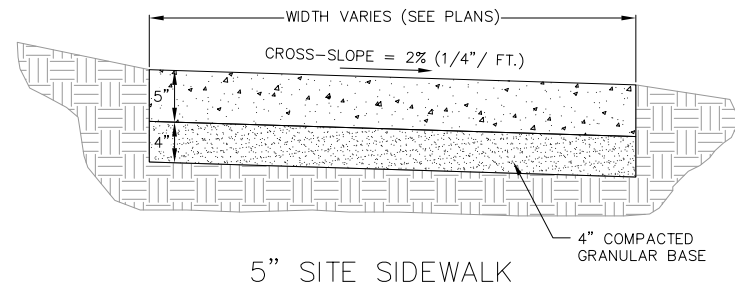
EXISTING CONTOURS ON SLOPE ARE BASED ON GIS AND PREVIOUS SURVEY DATA. CONTRACTOR OR ENGINEER'S SURVEYOR SHALL VERIFY ELEVATIONS PRIOR TO DESIGN AND CONSTRUCTION OF WALL. RETAINING WALL SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.

**GRADING & EROSION CONTROL PLAN**  
 VAN HOLTEN'S BUILDING ADDITION  
 CITY OF WATERLOO  
 JEFFERSON COUNTY, WISCONSIN

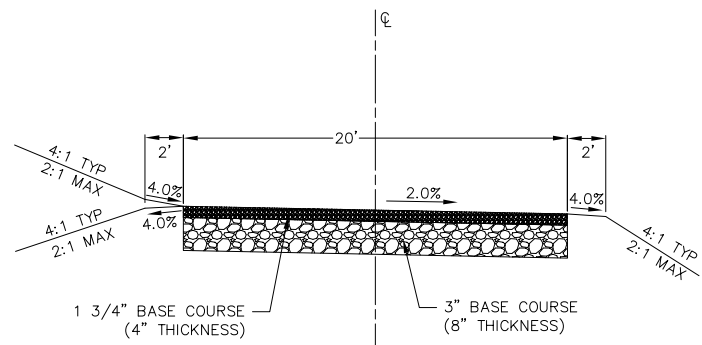
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NO.	DATE	NO.	DATE

DATE: 3/24/2023  
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 PROJECT NO.: 220224  
 SHEET: 5 OF 6

**NOT FOR CONSTRUCTION**

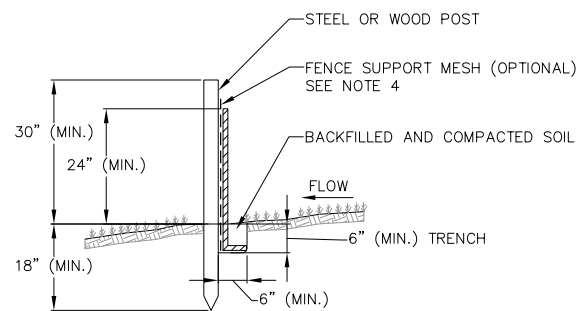


1 5" SIDEWALK  
1 NOT TO SCALE



1 FIRE LANE TYPICAL SECTION  
1 NOT TO SCALE

SEEDING RATES:  
**TEMPORARY:**  
 1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.  
 2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.  
**PERMANENT:**  
 1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.  
 FERTILIZING RATES:  
**TEMPORARY AND PERMANENT:**  
 USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.  
 MULCHING RATES:  
**TEMPORARY AND PERMANENT:**  
 USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



NOTES:

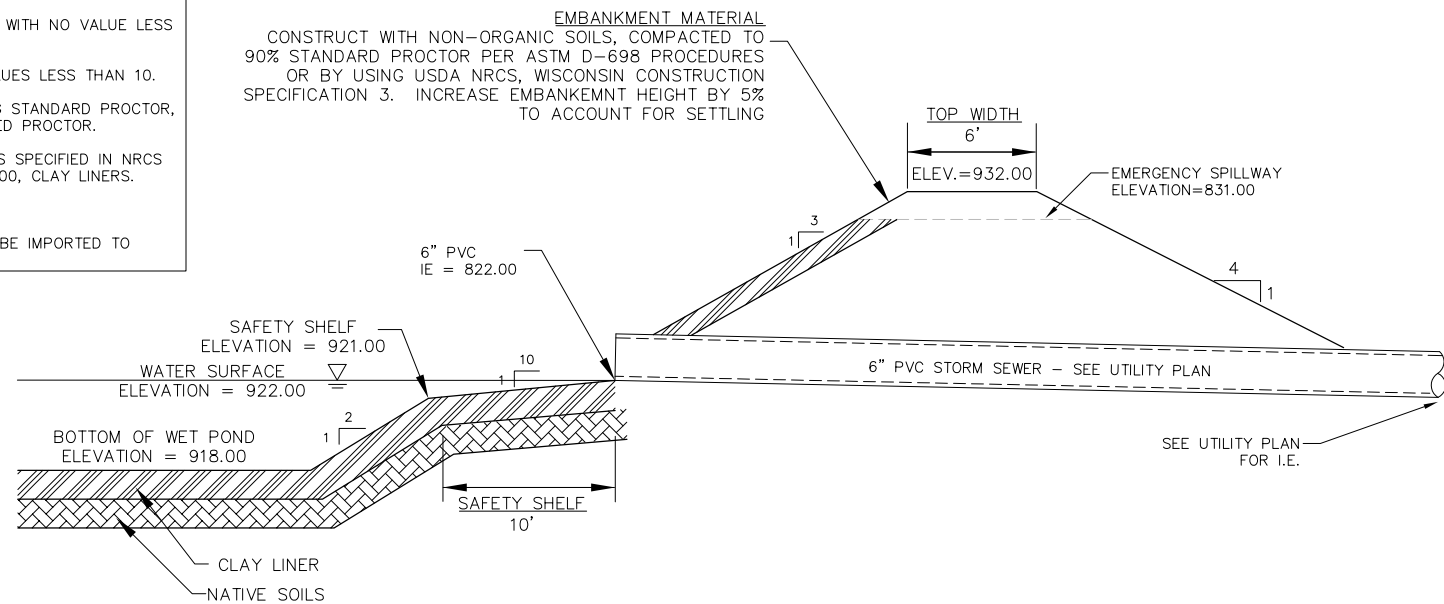
- INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
- CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
- POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)  
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
- SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

1 SILT FENCE  
1 NOT TO SCALE

CLAY LINER CRITERIA

- 50% FINES (200 SIEVE) OR MORE.
- AN IN-PLACE HYDRAULIC CONDUCTIVITY OF 1 X 10<sup>-7</sup> CM/SEC. OR LESS.
- AVERAGE LIQUID LIMIT OF 25 OR GREATER, WITH NO VALUE LESS THAN 20.
- AVERAGE PI OF 12 OR MORE, WITH NO VALUES LESS THAN 10.
- CLAY INSTALLED WET OF OPTIMUM IF USING STANDARD PROCTOR, AND 2% WET OF OPTIMUM IF USING MODIFIED PROCTOR.
- CLAY COMPACTION AND DOCUMENTATION AS SPECIFIED IN NRCS WISCONSIN CONSTRUCTION SPECIFICATION 300, CLAY LINERS.
- MINIMUM THICKNESS OF TWO FEET.

CONTRACTOR TO PROVIDE SAMPLE OF CLAY TO BE IMPORTED TO VERIFY IT MEETS THE STATED REQUIREMENTS.



1 WET POND R FACILITY CROSS-SECTION  
1 NOT TO SCALE

**NOT FOR CONSTRUCTION**

REVISIONS	NO.	DATE	REMARKS

DATE: 3/24/2023  
 DRAFTER: BBAR  
 CHECKED: ---  
 PROJECT NO.: 220224  
 SHEET: 6 OF 6



April 11, 2023

Gregg Geier  
Van Holtens Site  
703 W Madison St  
Waterloo WI 53594  
Via email: ggeier@vanholtenpickles.com

Re: Coverage Under WPDES General Permit No. WI-S067831-06: **Construction Site Storm Water Runoff**  
Permittee Name: **Van Holtens Site**  
Site Name: **2023 Van Holten's Building Addition**  
WDNR FIN: **87637**

Dear Gregg Geier:

The Wisconsin Department of Natural Resources received your Water Resources Application for Project Permits or Notice of Intent, on April 04, 2023, for the **2023 Van Holten's Building Addition** site and has evaluated the information provided regarding storm water discharges from your construction site. We have determined that your construction site activities will be regulated under ch. 283, Wis. Stats., ch. NR 216, Wis. Adm. Code, and in accordance with Wisconsin Pollutant Discharge Elimination System (WPDES) General Permit No. WI-S067831-06, Construction Site Storm Water Runoff. All erosion control and storm water management activities undertaken at the site must be done in accordance with the terms and conditions of the general permit.

The **Start Date** of permit coverage for this site is **April 11, 2023**. The maximum period of permit coverage for this site is limited to **3 years** from the **Start Date**. Therefore, permit coverage automatically expires and terminates 3 years from the Start Date and storm water discharges are no longer authorized unless another Notice of Intent and application fee to retain coverage under this permit or a reissued version of this permit is submitted to the Department 14 working days prior to expiration.

A copy of the general permit along with extensive storm water information including technical standards, forms, guidance and other documents is accessible on the Department's storm water program Internet site. To obtain a copy of the general permit, please download it and the associated documents listed below from the following Department Internet site:  
<http://dnr.wi.gov/topic/stormwater/construction/forms.html>

- Construction Site Storm Water Runoff WPDES general permit No. WI-S067831-06
- Construction site inspection report form
- Notice of Termination form

If, for any reason, you are unable to access these documents over the Internet, please contact me and I will send them to you.

To ensure compliance with the general permit, please read it carefully and be sure you understand its contents. Please take special note of the following requirements (This is not a complete list of the terms and conditions of the general permit.):

1. The Construction Site Erosion Control Plan and Storm Water Management Plan that you completed prior to submitting your permit application must be implemented and maintained throughout construction. Failure to do so may result in enforcement action by the Department.

2. The general permit requires that erosion and sediment controls be routinely inspected at least every 7 days, and within 24 hours after a rainfall event of 0.5 inches or greater. Weekly written reports of all inspections must be maintained. The reports must contain the following information:

- a. Date, time, and exact place of inspection;
- b. Name(s) of individual(s) performing inspection;
- c. An assessment of the condition of erosion and sediment controls;
- d. A description of any erosion and sediment control implementation and maintenance performed;
- e. A description of the site's present phase of construction.

3. A **Certificate of Permit Coverage** must be posted in a conspicuous place on the construction site. The Certificate of Permit Coverage (WDNR Publication # WT-813) is enclosed for your use.

4. When construction activities have ceased and the site has undergone final stabilization, a Notice of Termination (NOT) of coverage under the general permit must be submitted to the Department.

It is important that you read and understand the terms and conditions of the general permit because they have the force of law and apply to you. Your project may lose its permit coverage if you do not comply with its terms and conditions. The Department may also withdraw your project from coverage under the general permit and require that you obtain an individual WPDES permit instead, based on the Department's own motion, upon the filing of a written petition by any person, or upon your request.

If you believe that you have a right to challenge this decision to grant permit coverage, you should know that the Wisconsin statutes and administrative rules establish time periods within which requests to review Department decisions must be filed. For judicial review of a decision pursuant to ss. 227.52 and 227.53, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to file your petition with the appropriate circuit court and serve the petition on the Department. Such a petition for judicial review must name the Department of Natural Resources as the respondent.

To request a contested case hearing pursuant to s. 227.42, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to serve a petition for hearing on the Secretary of the Department of Natural Resources. All requests for contested case hearings must be made in accordance with s. NR 2.05(5), Wis. Adm. Code, and served on the Secretary in accordance with s. NR 2.03, Wis. Adm. Code. The filing of a request for a contested case hearing is not a prerequisite for judicial review and does not extend the 30-day period for filing a petition for judicial review.

Thank you for your cooperation with the Construction Site Storm Water Discharge Permit Program. If you have any questions concerning the contents of this letter or the general permit, please contact me at (608) 333-6579.

Sincerely,



E. Dan Bekta, P.E.  
South Central Region  
Storm Water Program

ENCLOSURE: Certificate of Permit Coverage



# CERTIFICATE OF PERMIT COVERAGE

UNDER THE  
WPDES CONSTRUCTION SITE STORM WATER RUNOFF PERMIT  
Permit No. WI-S067831-06

Under s. NR 216.455(2), Wis. Adm. Code, landowners of construction sites with storm water discharges regulated by the Wisconsin Department of Natural Resources (WDNR) Storm Water Permit Program are required to post this certificate in a conspicuous place at the construction site. This certifies that the site has been granted WDNR storm water permit coverage. The landowner must implement and maintain erosion control practices to limit sediment-contaminated runoff to waters of the state in accordance with the permit.

## EROSION CONTROL COMPLAINTS

should be reported to the WDNR Tip Line at  
**1-800-TIP-WDNR (1-800-847-9367)**

Please provide the following information to the Tip Line:

WDNR Site No. (FIN): 87637

Site Name: 2023 Van Holten's Building Addition

Address/Location: 703 West Madison Street City of WATERLOO

Additional Information:

Landowner: Van Holtens Site

Landowner's Contact Person: Gregg Geier

Contact Telephone Number: (920) 478-2144

Permit Start Date: April 11, 2023

By: E. D. Bekt

# VAN HOLTEN'S PICKLES

703 WEST MADISON STREET  
WATERLOO, WI 53594

Sketchworks  
architecture llc

NEWCOMB

## PROJECT DATA

**LOCATION:**  
703 WEST MADISON STREET  
WATERLOO, WI 53594

**REGULATING MUNICIPALITIES:**  
CITY OF WATERLOO  
JEFFERSON COUNTY  
STATE OF WISCONSIN

**BUILDING CODE:**  
CITY OF WATERLOO ZONING ORDINANCES  
WISCONSIN ADMINISTRATIVE CODE  
2015 INTERNATIONAL BUILDING CODE  
ACCESSIBILITY ANSI A117.1 - 2009

**PROJECT DESCRIPTION:**  
NEW BUILDING ADDITION CONSISTING OF MANUFACTURING AND PROCESSING SPACE FOR FOOD PRODUCTION

**OCCUPANCY TYPE:**  
PRIMARY: S-2 (BUSINESS OCC. <10% OF BUILDING AREA)  
SECONDARY: F-1

**CONSTRUCTION TYPE:** IIB

**ALLOWABLE BUILDING AREA & HEIGHT:**  
MAXIMUM HEIGHT ABOVE GRADE PLANE = 75 FEET  
(IBC TABLE 504.3)  
MAXIMUM STORIES ALLOWED (IBC TABLE 504.4) = 3 STORIES  
AREA ALLOWED PER FLOOR (IBC TABLE 506.2) = 62,000 SF  
AREA MODIFICATIONS (IBC SECTION 506) = 46,500 SF  
TOTAL MAXIMUM ALLOWABLE AREA PER FLOOR = 108,500 SF

**ACTUAL BUILDING AREA & HEIGHT:**  
HEIGHT ABOVE GRADE PLANE = 24 FEET  
STORIES ABOVE GRADE PLANE = 1 STORIES  
[NEW] BUILDING FLOOR AREA = 61,438 SF

**AREA AND LEVEL OF ALTERATION:**  
AREA OF ALTERATION = 10,479 SF  
PERCENTAGE OF TOTAL BUILDING AREA = 17.1 %  
LEVEL OF ALTERATION = LEVEL 3

**NUMBER OF OCCUPANTS (TABLE 1004.1.2):**  
F-1 OCCUPANCY = 28,021 SF / 100 GROSS = 261 OCC  
S-2 OCCUPANCY = 35,961 SF / 500 GROSS = 71 OCC  
TOTAL OCCUPANTS = 332 OCC

**PLUMBING:**

SPACE	LOAD	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	SERVICE SINK
		MALE	FEMALE	MALE	FEMALE		
F-1 & F-2	261	1.31	1.31	1.31	1.31	0.65	1
S-1 & S-2	71	0.36	0.36	0.36	0.36	0.01	1
SUBTOTALS	332	1.66	1.66	1.66	1.66	0.66	2.00
REQ'D TOTALS		2	2	2	2	1	2
TOTAL PROVIDED		4	4	2	2	2	2

ALL FIXTURES TO COMPLY WITH ICC A117.1

**FIRE CONTROL:**  
FULLY SPRINKLERED BUILDING: NFPA 13  
PORTABLE FIRE EXTINGUISHERS (IBC SECTION 906.3.1)  
HAZARD TYPE = LOW  
MAXIMUM AREA = 3,000 SF PER 'A'  
MAXIMUM DISTANCE (TYPE A) = 50 FEET  
EXTINGUISHER RATING = 2-A:10-B  
NUMBER REQUIRED AT ABOVE RATING = 8 (4 PER ADDITION)

**EXITS:**  
EXIT(S) REQUIRED TO MEET EXITING DISTANCES = 4 (2 PER ADDITION)  
EXIT(S) PROVIDED TO MEET DISTANCES = 4  
MIN 60% OF PUBLIC EXTERIOR DOORS TO BE ON ACCESSIBLE ROUTE

**ACCESSIBILITY:**  
FOLLOW IBC 2015 AND ANSI 117.1 (2009)

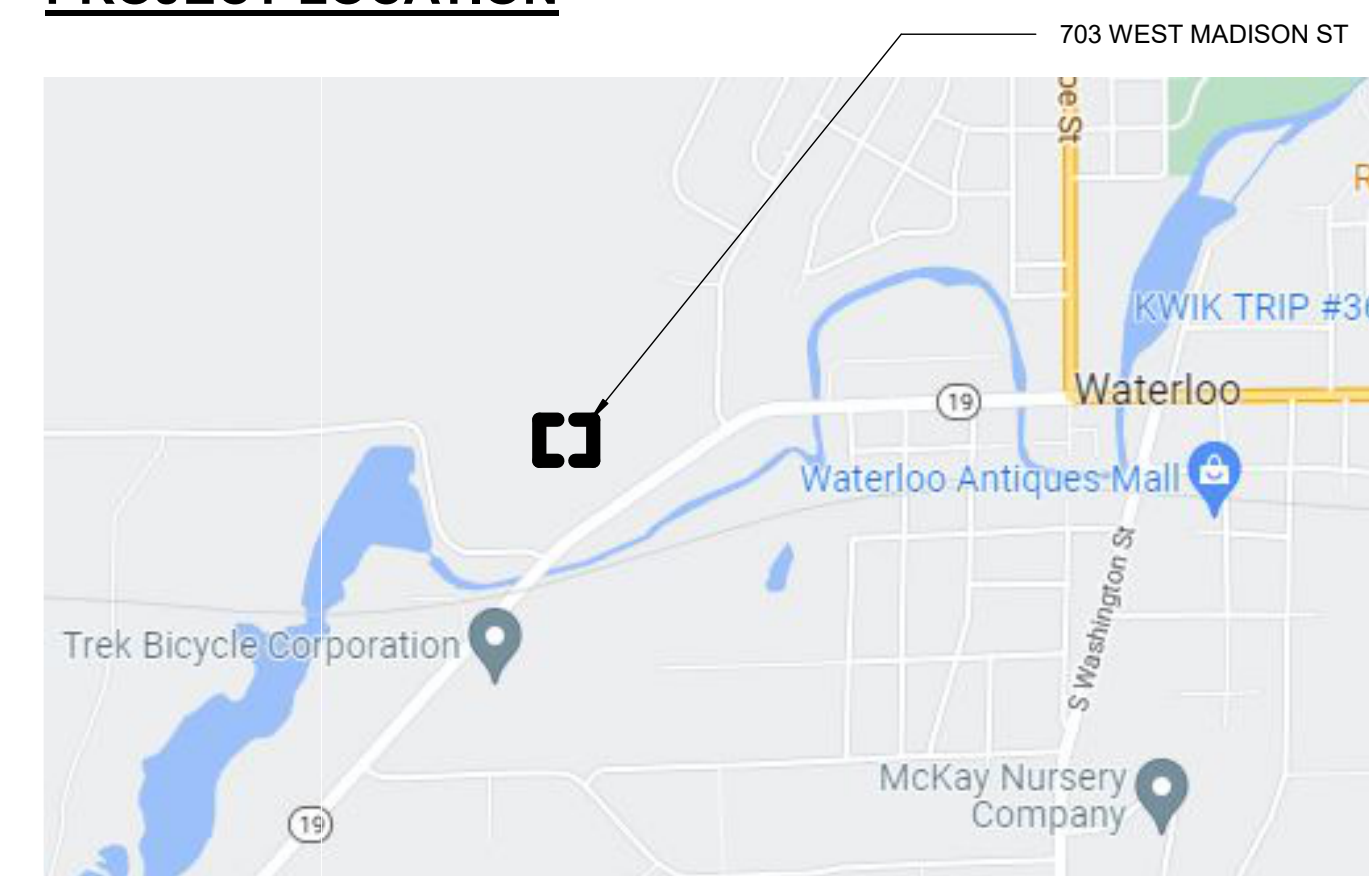
## PROJECT GENERAL NOTES:

- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES OR CONFLICTING INFORMATION IN THESE DOCUMENTS. CONTRACTOR SHALL CAREFULLY REVIEW AND COMPARE ALL DRAWINGS DURING THE BIDDING PERIOD AND BEFORE INSTALLATION OF THEIR WORK. ANY INCONSISTENCIES IN THE DRAWINGS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT AND ENGINEER(S) FOR CLARIFICATION.
- DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE - USE GIVEN DIMENSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED EXISTING SITE CONDITIONS AFFECTING THE EXECUTION OF THESE DOCUMENTS (SUCH AS HAZARDOUS MATERIALS, ETC.).
- CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS GOVERNING THIS PROJECT.
- JOB SITE SHALL BE BROOM SWEEP AND CLEAN AT THE END OF EACH DAY. ALL DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY INTO APPROVED CONTAINER.
- MAINTAIN DESIGNATED EGRESS ROUTES DURING CONSTRUCTION BY KEEPING CLEAR OF CONSTRUCTION DEBRIS AND CLEARLY MARKING THE PATH OF EGRESS TRAVEL.
- ALL MECHANICAL (HVAC), ELECTRICAL, PLUMBING AND FIRE PROTECTION (MEP & FP) DESIGN AND CONSTRUCTION TO BE BY A DESIGN-BUILD DELIVERY METHOD AND ARE SUBSEQUENTLY NOT PART OF THESE DOCUMENTS. IT IS THE MEP CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE GENERAL CONTRACTOR AND WITH THESE DRAWINGS THE FINAL DESIGN, RETROFIT AND INSTALLATION OF THESE SYSTEMS. NOTIFY THE ARCHITECT PRIOR TO MAKING ANY REVISIONS TO THE STRUCTURE OR ARCHITECTURAL FEATURES.
- HVAC CONTRACTOR SHALL SUBMIT PROPER DESIGN DRAWINGS AS NEEDED FOR PLAN APPROVAL AND BUILDING PERMITS.
- WITHIN THIS DOCUMENT "NORTH, SOUTH, EAST, WEST" ARE REFERRED TO AS PROJECT NORTH AND MAY NOT BE TRUE NORTH.
- ALL EXPOSED WOOD AND/OR WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- PROVIDE GFI OUTLETS NEAR WATER SOURCES AND AS REQUIRED BY IEC.
- PROVIDE FIRE BLOCKING AND DRAFTSTOPPING THROUGHOUT BUILDING PER IBC CHAPTER 7.
- SUBMIT ALL FIXTURES, APPLIANCES, MATERIALS, SHOP DRAWINGS, PLAN MODIFICATIONS TO THE ARCHITECT FOR REVIEW AND APPROVAL.
- IN SOME CASES THE SELECTION OF SPECIFIC ACCESSORIES, HARDWARE, MATERIALS OR FINISHES MAY NOT BE AVAILABLE AT ISSUANCE OF THESE DRAWINGS. THESE INSTANCES ARE INDICATED WITH "TBD", OR "TO BE DETERMINED". IN THESE SITUATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING APPROPRIATE ALLOWANCES TO COVER THE MATERIAL AND INSTALLATION FOR THAT ELEMENT, BASED ON THE BEST INFORMATION PROVIDED. IF NO INFORMATION IS PROVIDED, ASSUME A MID-RANGE PRODUCT COST TO SATISFY THE INTENT OF THE PROJECT. THE CONTRACTOR SHALL CLEARLY STATE IN THEIR BID PROPOSAL WHAT THE ALLOWANCE VALUE AND UNIT PRICE IS, LISTED SEPARATELY FOR EACH ITEM.
- IF THE CONTRACTOR ELECTS TO NOT PROVIDE A PRICE FOR ANY ELEMENT CONTAINED IN THESE DOCUMENTS, FOR WHATEVER REASON, THE CONTRACTOR SHALL CLEARLY INDICATE THIS EXCLUSION IN THEIR BID PROPOSAL. IF NO EXCLUSION IS MADE, IT IS THE CONTRACTOR'S OBLIGATION OF THE CONTRACTOR TO PROVIDE THE ELEMENT IN ACCORDANCE WITH THE GENERAL INTENT OF THE DRAWINGS.
- IN THE EVENT OF CONTRADICTION OF DOCUMENTS, SPECIFICATIONS SHALL TAKE PRECEDENT. IF A CONTRADICTION REMAINS, OR IF THE SPECIFICATION DOES NOT CLARIFY, THEN THE CONTRACTOR SHALL ASSUME THE MOST EXPENSIVE OF THE MATERIALS AND INSTALLATION WHEN COMPARING THE CONTRADICTORY ITEMS.

## SHEET INDEX

SHEET NUMBER	SHEET NAME	REVISIONS	
		MARK	DATE
<b>GENERAL</b>			
G001	COVER SHEET		
G002	FIRE SEPARATION & EGRESS PATH		
<b>CIVIL</b>			
C101	EXISTING CONDITIONS		
C201	SITE PLAN		
C301	GRADING PLAN		
C302	EROSION CONTROL PLAN		
C401	UTILITY PLAN		
<b>LANDSCAPE</b>			
L101	LANDSCAPING PLAN		
<b>STRUCTURAL</b>			
S001	STRUCTURAL NOTES		
S101	OVERALL FOUNDATION PLAN		
S102	ENLARGED FOUNDATION PLAN		
S201	OVERALL FRAMING PLAN		
S202	ENLARGED FRAMING PLAN		
S301	OVERALL ROOF FRAMING PLAN		
S302	ENLARGED ROOF FRAMING PLAN		
S501	FRAMING SECTIONS		
S601	CONCRETE DETAILS		
S701	MASONRY DETAILS		
S801	STEEL DETAILS		
S901	CFS DETAILS		
<b>ARCHITECTURAL GENERAL</b>			
A001	SYMBOLS & ABBREVIATIONS		
A004	CEILING-FLOOR / ROOF ASSEMBLIES		
<b>ARCHITECTURAL</b>			
AD101	DEMOLITION PLAN		
<b>ARCHITECTURAL</b>			
A101	FLOOR PLAN		
A103	REFLECTED CEILING PLAN		
A104	ROOF PLAN		
A201	EXTERIOR ELEVATIONS		
A301	BUILDING SECTIONS		
A302	WALL SECTIONS		
A401	ENLARGED FLOOR PLANS		
A501	PLAN DETAILS		
A502	SECTION DETAILS		
A601	DOOR AND WINDOW SCHEDULES		
<b>ARCHITECTURAL INTERIORS</b>			
AI101	FINISH FLOOR PLAN		
AI102	EQUIPMENT AND FURNITURE PLAN		
AI201	INTERIOR ELEVATIONS		
AI601	INTERIOR SCHEDULES		
AI602	EQUIPMENT AND FURNITURE SCHEDULES		
<b>ELECTRICAL</b>			
ES101	SITE LIGHTING PLAN		

## PROJECT LOCATION



## BUILDING LOCATION



**VAN HOLTEN'S PICKLES**  
 TENANT IMPROVEMENT  
 703 WEST MADISON STREET  
 WATERLOO, WI 53594

## Project Status

2023.02.27	REVIEW SET
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**COVER SHEET**

**G001**

**PRELIMINARY**

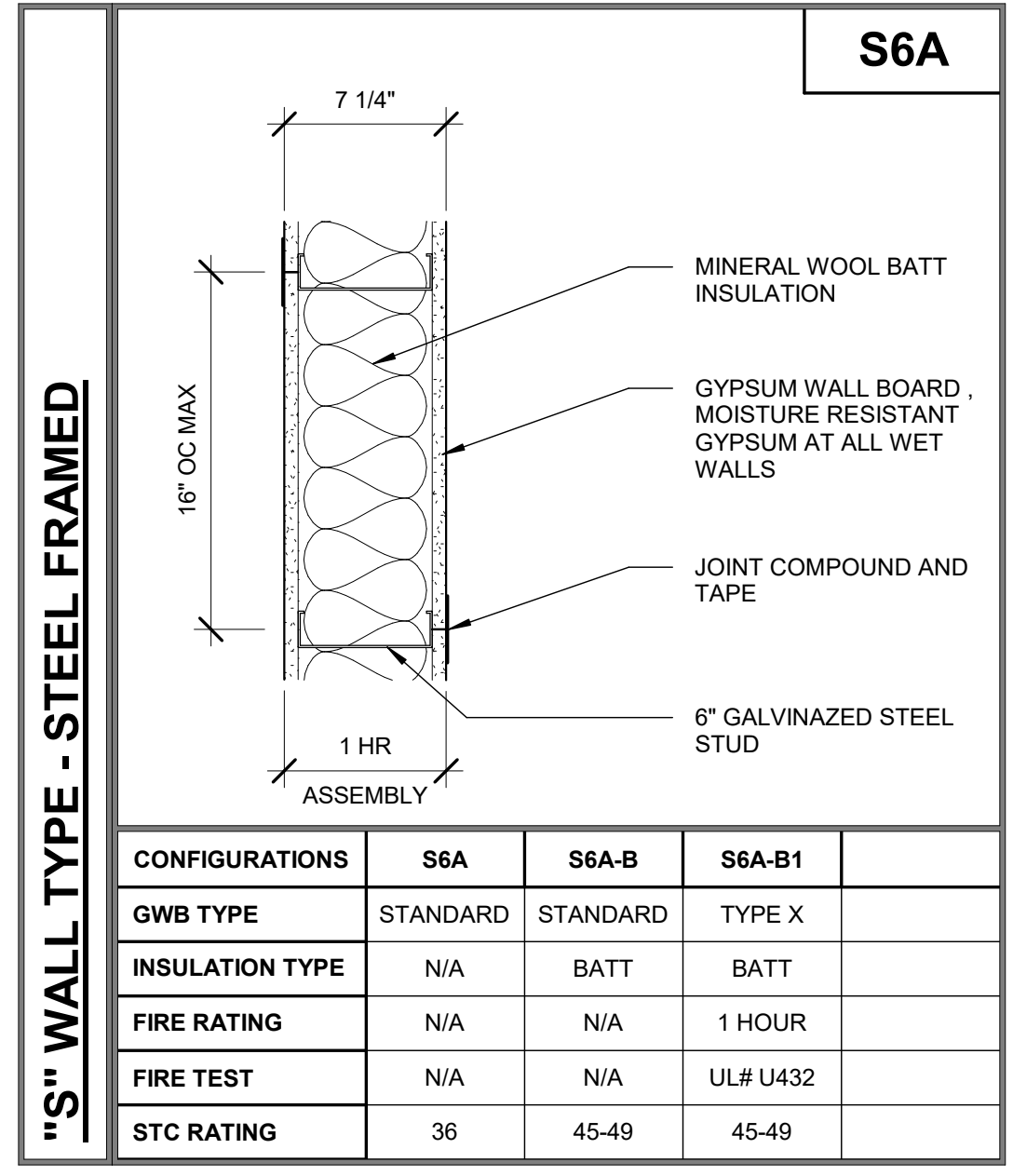
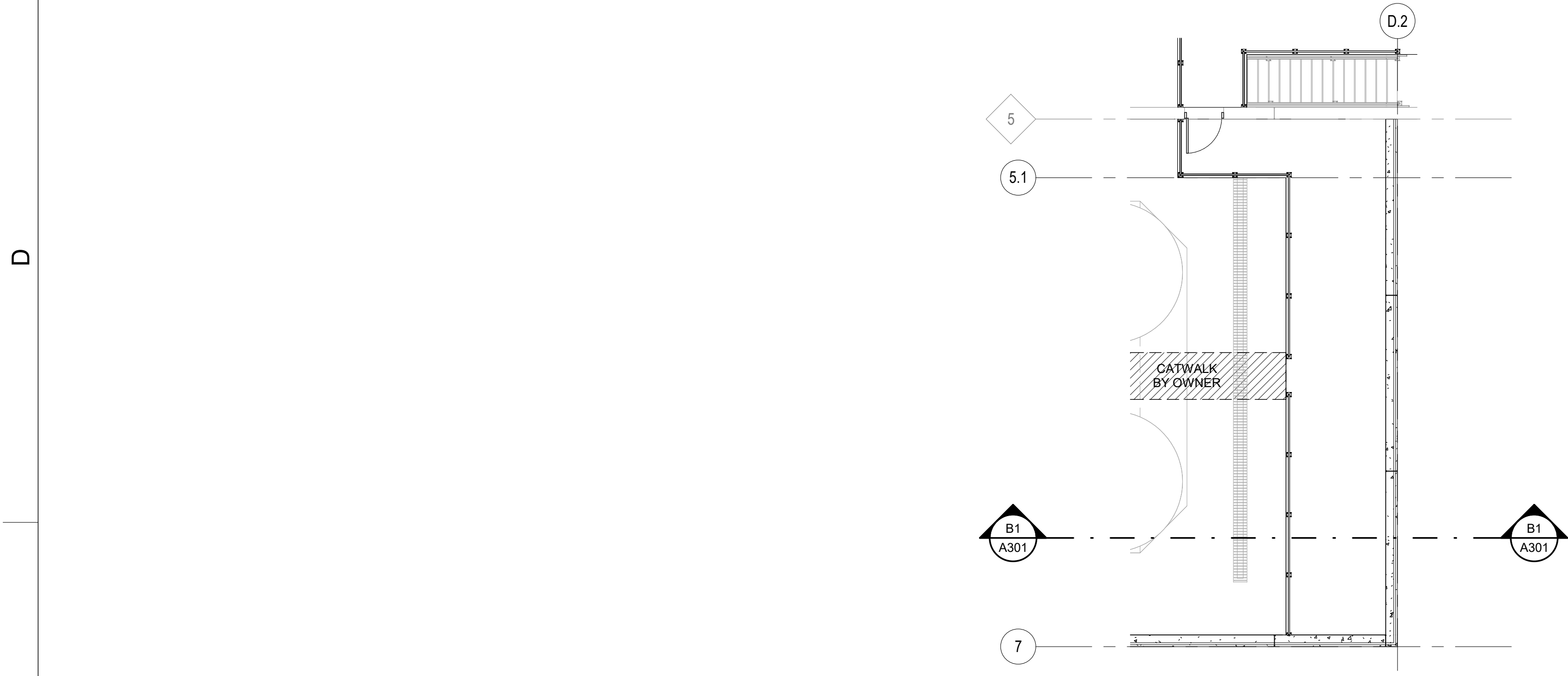
C:\Projects\Newcomb\Van Holten Pickles\Drawings\REV\VT\Van Holten Pickles.rvt  
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D

C

B

A



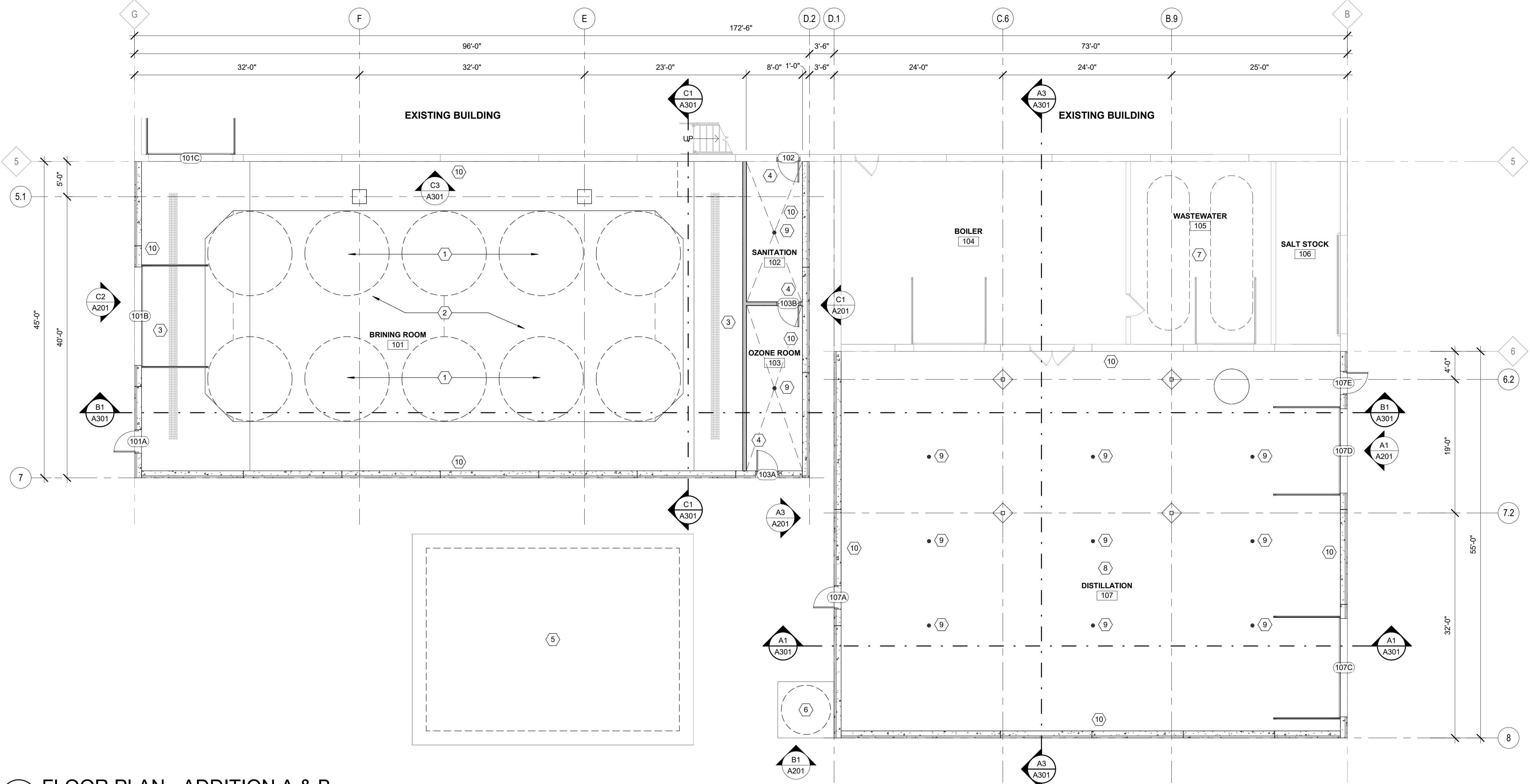
**PARTITION TYPE NOTES:**

- ALL INTERIOR PARTITIONS ARE TO BE S6A-B WALL TYPE UNLESS NOTED OTHERWISE
- SEE 2009 UNDERWRITERS LABORATORY DIRECTORY FOR ADDITIONAL INFORMATION ON WALL RATING SPECIFICS AND ALLOWABLE MATERIALS.
- FIRE RATED ASSEMBLIES: ALL SEAMS TO HAVE TAPE AND JOINT COMPOUND APPLIED. ALL SCREW HEADS TO HAVE JOINT COMPOUND APPLIED. WHERE AN ASSEMBLY FACE IS NOT VISIBLE TO AN OCCUPIED SPACE, COMPOUND AND TAPE CAN BE COMPLETED AT A LEVEL 1 FINISH.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL WET AREAS INCLUDING KITCHENS, BATHROOMS, AND RESTROOMS.
- PROVIDE ACOUSTICAL INSULATION AND ACOUSTICAL SEALANT AT TOP & BOTTOM OF WALLS AND ALL WALL PENETRATIONS AT ALL CORRIDOR AND UNIT DEMISING WALLS. FOR SOUND IMPROVEMENT, DO NOT ALIGN PENETRATIONS BETWEEN UNITS (EG WALL OUTLETS).
- ALL GYPSUM SHALL EXTEND TO BOTTOM OF ROOF DECK OR FULL HEIGHT OF PARTITION UNLESS NOTED OTHERWISE.
- STC RATINGS ARE ESTIMATES BASED ON STC TESTING. ACTUAL INSTALLED PERFORMANCE MAY VARY.

**GENERAL PLAN NOTES:**

- MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION IMPROVEMENTS TO BE DESIGN BUILD, UNLESS NOTED OTHERWISE. DESIGNED AS REQUIRED BY CURRENT BUILDING CODES. MEP DESIGN BLDG CONTRACTOR(S) RESPONSIBLE FOR ENSURING CODE COMPLIANT CONSTRUCTION OF NEW SYSTEMS IN TENANT SPACES.
- PROVIDE SOUND INSULATION IN ALL DEMISING WALLS AND INTERIOR WALLS, UNLESS NOTED OTHERWISE.
- PROVIDE MOISTURE RESISTANT GWB AT ALL PLUMBING WALLS.
- PROVIDE ACCESSIBLE ACCESSORIES PER MOUNTING HEIGHTS INDICATED ON SHEET A001.
- PROVIDE ADA APPROVED THRESHOLDS AT ALL NEW FLOOR TRANSITIONS AND DOORWAYS.
- EXTERIOR DIMENSIONS ARE FROM GRIDLINE TO GRIDLINE, OR TO EDGE OF FOUNDATION WALL UNLESS NOTED OTHERWISE. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- INTERIOR DIMENSIONS FOR NEW CONSTRUCTION ARE TO FACE OF FRAME OR COLUMN CENTERLINE UNLESS NOTED OTHERWISE. ALL DIMENSIONS FROM EXISTING WALLS ARE FROM FINISH FACE UNLESS NOTED OTHERWISE.
- ALL DOORS WITH A CLOSE PROXIMITY OF A PERPENDICULAR WALL SHALL HAVE A TYPICAL DIMENSION OF 6" FROM FACE OF FRAME TO DOOR OPENING UNLESS NOTED OTHERWISE.
- VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED MODIFICATIONS.
- FIRE EXTINGUISHER CABINETS SHALL BE RATED TO MEET THE ASSOCIATED WALL FIRE RATING.
- GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK. SEAL ALL DOORS AS REQUIRED. CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND.
- GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNERS REQUEST. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.

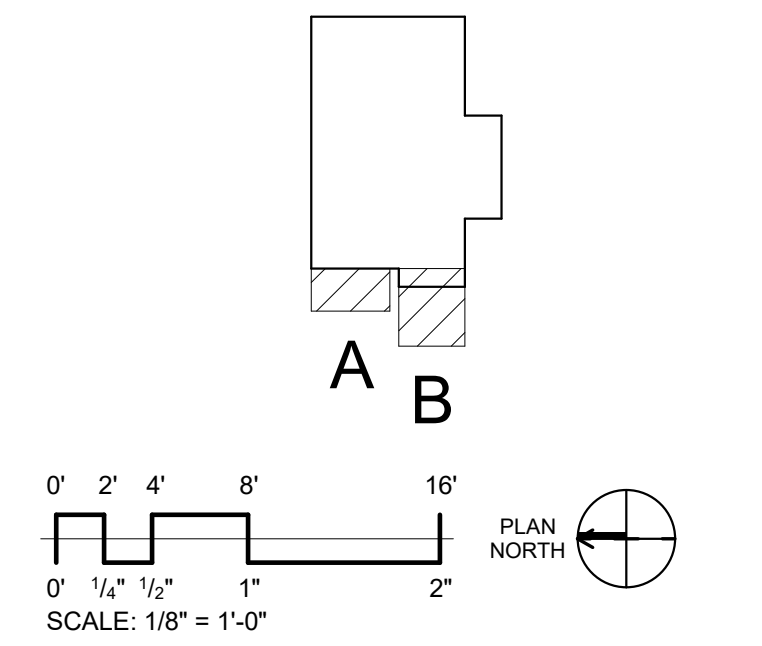
**C2 MEZZANINE**  
1/8" = 1'-0"



**# KEYNOTES:**

- BRINING TANKS
- 12" RAISED CONCRETE PAD
- TRENCH DRAIN WITH INTERNAL SLOPE
- FRP DOOR PER OWNER REQUIREMENTS
- EVAPORATOR EQUIPMENT PAD
- COOLING TOWER FOUNDATION
- EXISTING UNDERGROUND WASTEWATER TANKS
- PAINT THE STRUCTURE AND DECK WITH CORROSION RESISTANT COATING
- INSTALL FLOOR DRAIN AS REQUIRED FOR EQUIPMENT ALAYOUT AND PER PLUMBING CODE REQUIREMENTS
- PAINT / COAT ROUGH WALL OPENINGS, SPECIFICALLY WITH EXPOSED METAL, WITH CORROSION RESISTANT COATING

**KEY PLAN**



**A1 FLOOR PLAN - ADDITION A & B**  
1/8" = 1'-0"



**VAN HOLTEN'S PICKLES**  
TENANT IMPROVEMENT  
703 WEST MADISON STREET  
WATERLOO, WI 53594

Project Status	
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PROJ. #: 22236-01  
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**FLOOR PLAN**

**A101**

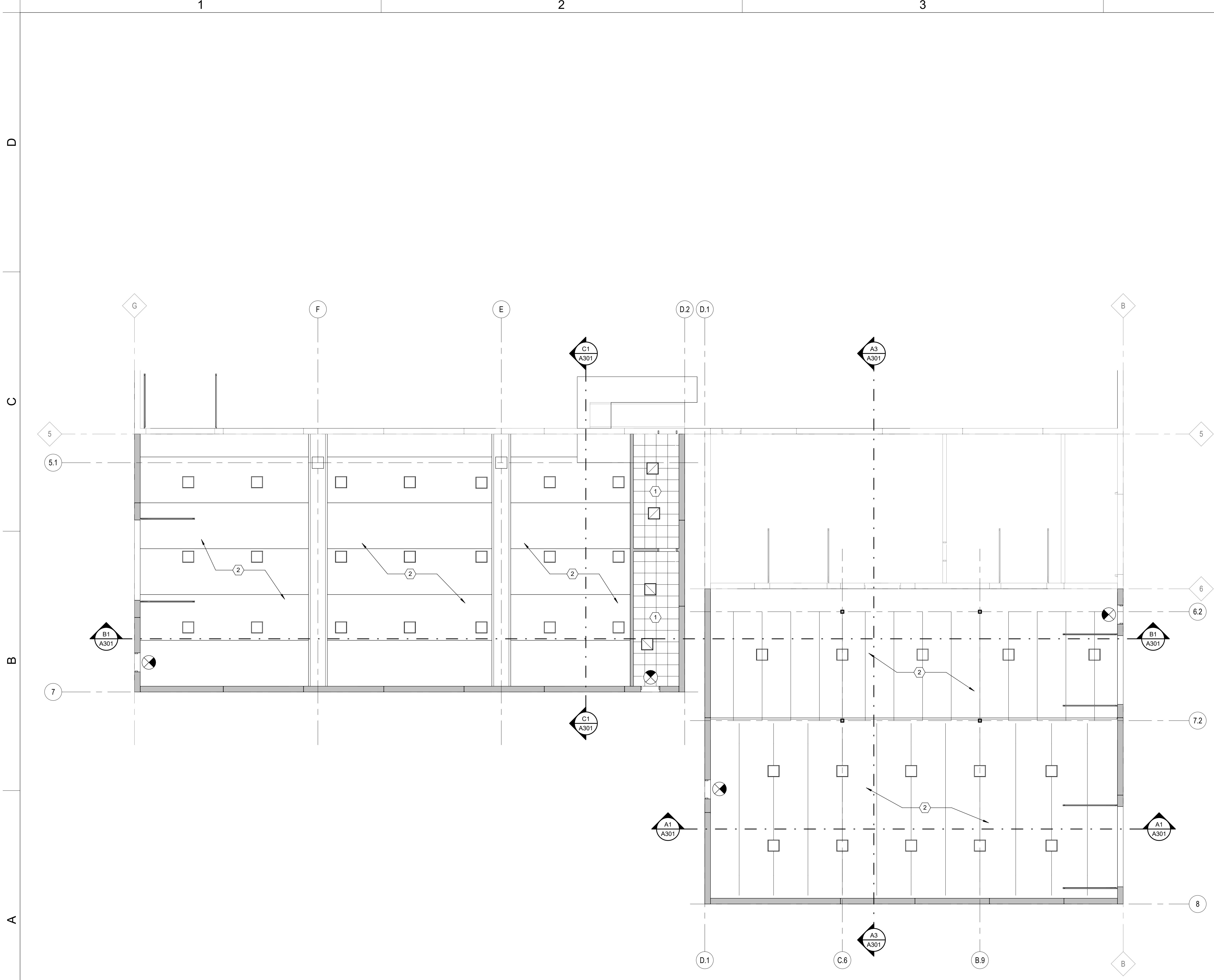
**PRELIMINARY**

### REFLECTED CEILING PLAN GENERAL NOTES:

- A. COORDINATE HVAC WITH ARCHITECT PRIOR TO INSTALLATION (SUPPLY DIFFUSERS, RETURN LOUVERS, TRANSFER GRILLS, EXHAUST GRILLS, AND ANY OTHER FIXTURE).
- B. ALL LIGHT FIXTURE FINISHES TO BE WHITE U.N.O., EXCEPT FOR JANITORIAL, MECHANICAL, AND UNFINISHED MAINTENANCE ROOMS
- C. LIGHTING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. LIGHT FIXTURES TO BE DESIGNED BY ELECTRICIAN OR LIGHTING DESIGNER.
- D. FOLLOW THE STATE AND NATIONAL CODE REQUIREMENTS AND MINIMUM FOOT CANDLE REQUIREMENTS.
- E. MEP & FP CONTRACTORS SHALL COORDINATE WITH ARCHITECT PRIOR TO CONSTRUCTION START TO MINIMIZE CEILING MOUNTED FIXTURES AND EQUIPMENT. CONDUIT SHALL BE RUN AT 90 DEGREE ANGLES TO THE SPACE, UNLESS NOTED OTHERWISE, AND SHALL BE CONCEALED WHERE POSSIBLE.

### # RCP KEYNOTES:

- 1 INSTALL VINYL TILE DROPS CEILING; INSTALL IN-GRID LIGHTS AS NECESSARY
- 2 OPEN TO STRUCTURE/DECK; INSTALL HIGH-BAY LIGHTS AS NECESSARY



### CEILING PLAN FIXTURES:

- 2X2' PANEL LIGHT
- LED BULB
- CF/CI
- EMERGENCY EXIT LIGHT
- LED BULB
- CF/CI

**VAN HOLTEN'S PICKLES**  
 TENANT IMPROVEMENT  
 703 WEST MADISON STREET  
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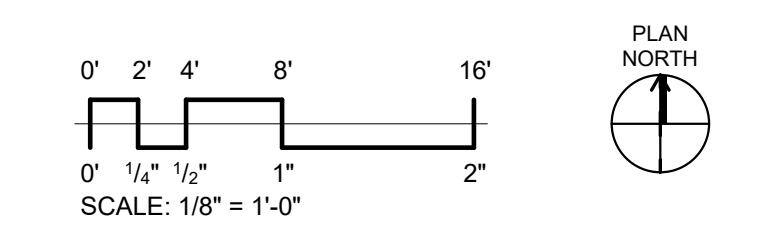
### Project Status

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### REFLECTED CEILING PLAN



**A1** FIRST FLOOR RCP  
 1/8" = 1'-0"

PRELIMINARY

A103



ROOF PLAN GENERAL

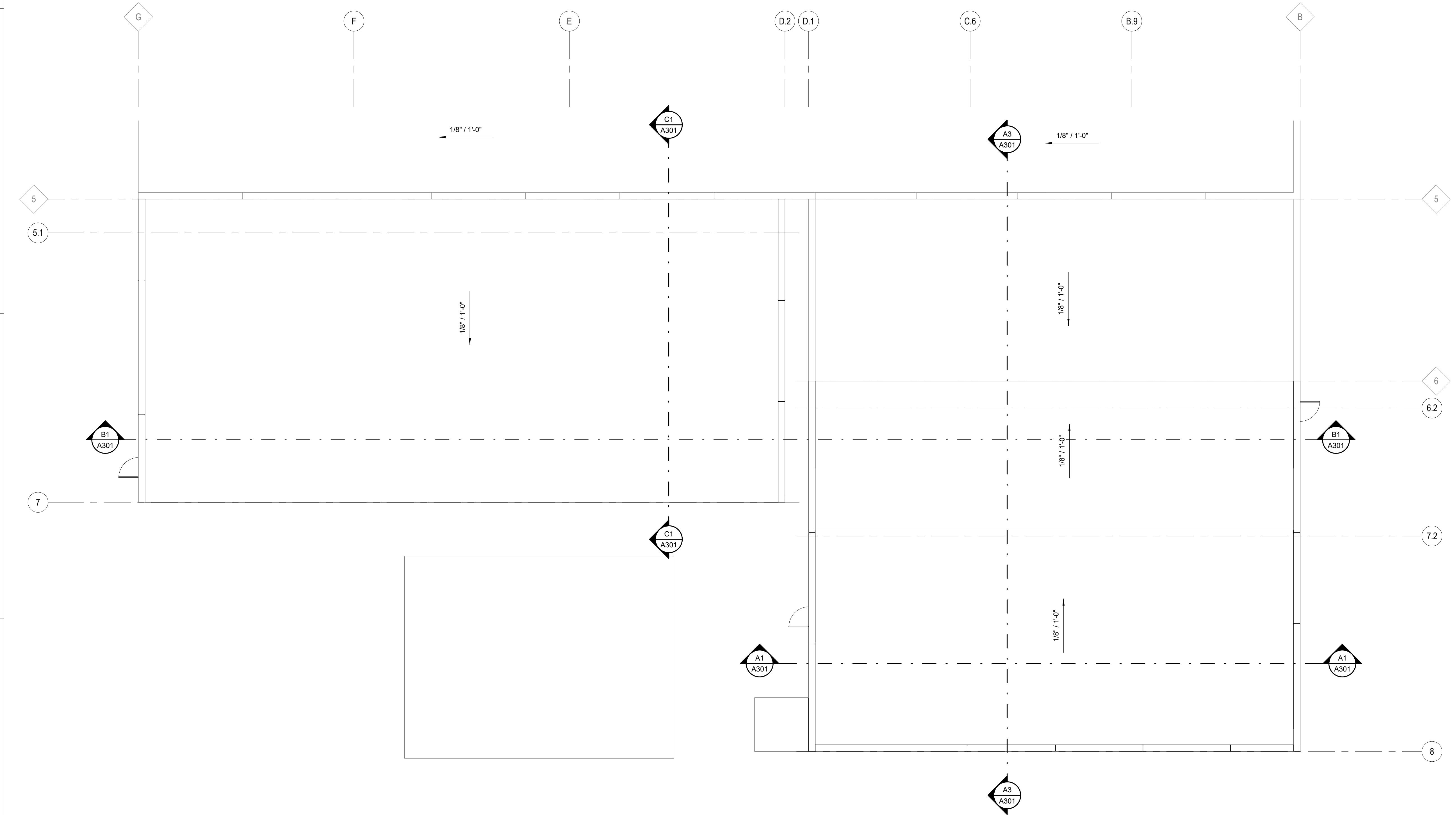
NOTES:

- A. EXTERIOR DIMENSIONS ARE FROM GRIDLINE TO GRIDLINE, OR TO EDGE OF FOUNDATION WALL UNLESS OTHERWISE NOTED. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- B. DIMENSIONS ARE TO FACE OF WALL UNLESS NOTED OTHERWISE. VERIFY ALL EXISTING CONDITIONS AND ADJUST ALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- C. STAIRWELL, ELEVATOR, AND MECHANICAL CHASE INTERIOR WALLS SHALL BE CONTINUOUS TO BOTTOM OF RAISED FLOORING ASSEMBLY CAP. MAINTAIN CONTINUITY OF FIRE RATING FROM LOWEST FLOOR THROUGH ROOF OR AS OTHERWISE INDICATED.
- D. INSTALL IC AND WATER SHIELD AT ALL ROOF EAVES AND VALLEYS. EXTEND FROM EAVE TO 24" MINIMUM INSIDE THE EXTERIOR WALL LINE. INSTALL PER MANUFACTURER SPECIFICATIONS.
- E. FINAL DOWNSPOUT / SCUPPER LOCATION(S) SHOULD BE COORDINATED BETWEEN THE ROOFING CONTRACTOR, THE ARCHITECT AND THE CIVIL ENGINEER. VERIFY LOCATION OF DOWNSPOUTS.

# ROOF PLAN KEYNOTES:

- 1 ABC
- 2 DEF

D  
C  
B  
A



**VAN HOLTEN'S PICKLES**  
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 703 WEST MADISON STREET  
 WATERLOO, WI 53594

Project Status

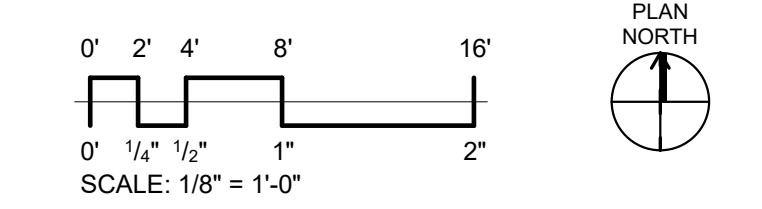
Date	Description
2023.02.27	REVIEW SET

PROJ. #: 22236-01

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ROOF PLAN

**A1** ROOF PLAN  
1/8" = 1'-0"



PRELIMINARY

**A104**

VAN HOLTEN'S PICKLES  
TENANT IMPROVEMENT  
703 WEST MADISON STREET  
WATERLOO, WI 53594

**Project Status**

DATE	STATUS
2023.02.27	REVIEW SET

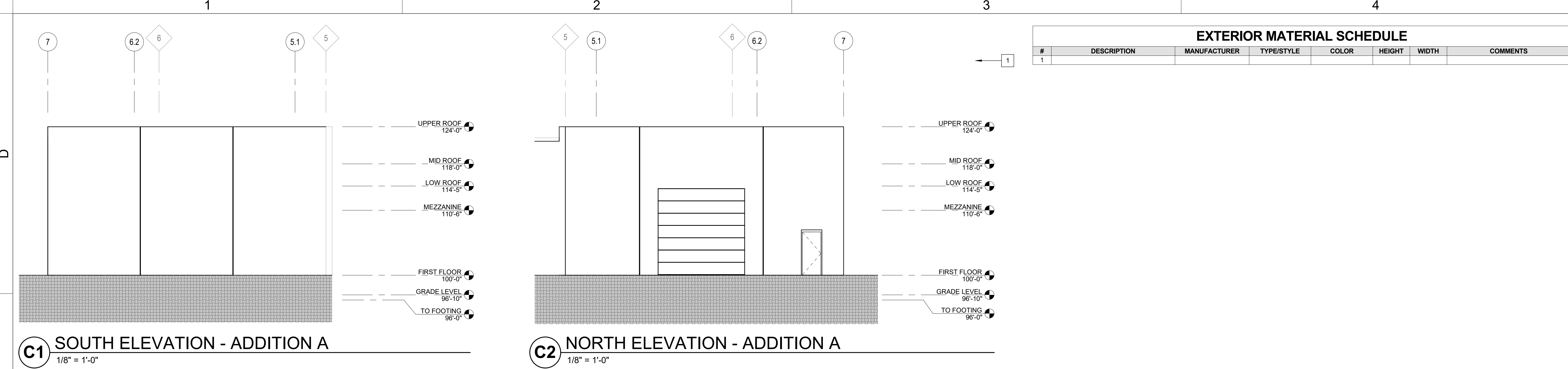
PROJ. #: 22236-01

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EXTERIOR ELEVATIONS

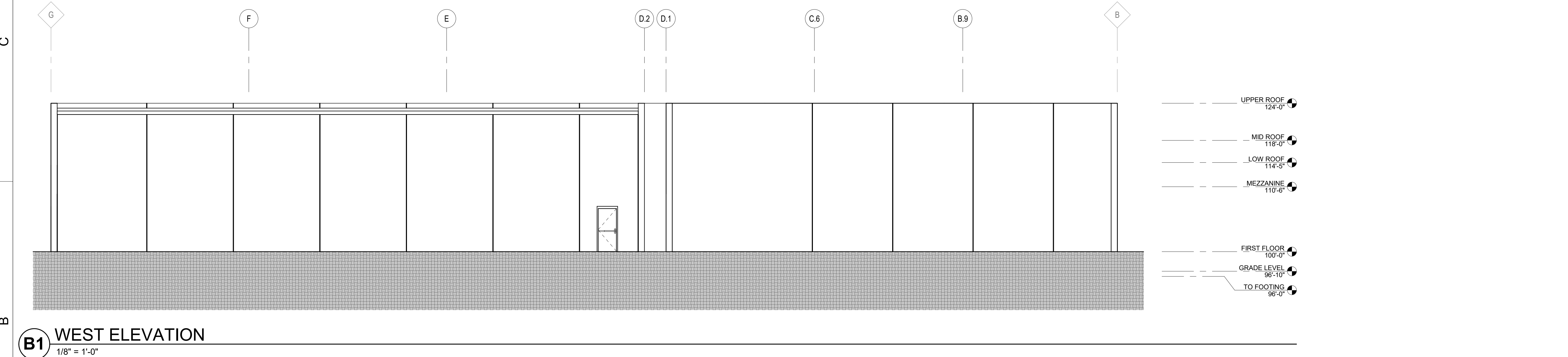
A201

#	DESCRIPTION	MANUFACTURER	TYPE/STYLE	COLOR	HEIGHT	WIDTH	COMMENTS
1							

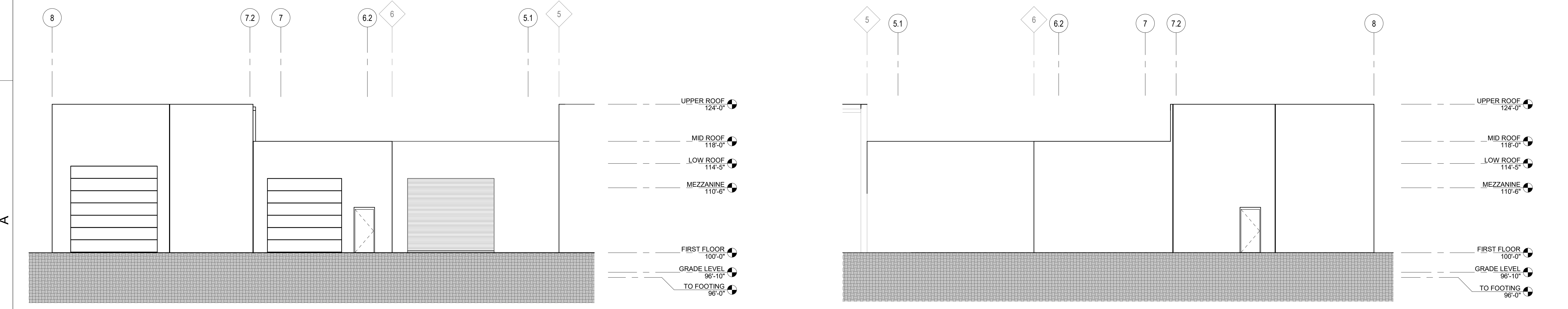


**C1** SOUTH ELEVATION - ADDITION A  
1/8" = 1'-0"

**C2** NORTH ELEVATION - ADDITION A  
1/8" = 1'-0"



**B1** WEST ELEVATION  
1/8" = 1'-0"



**A1** SOUTH ELEVATION - ADDITION B  
1/8" = 1'-0"

**A3** NORTH ELEVATION - ADDITION B  
1/8" = 1'-0"

PRELIMINARY

**VAN HOLTEN'S PICKLES**  
TENANT IMPROVEMENT  
703 WEST MADISON STREET  
WATERLOO, WI 53594

**Project Status**

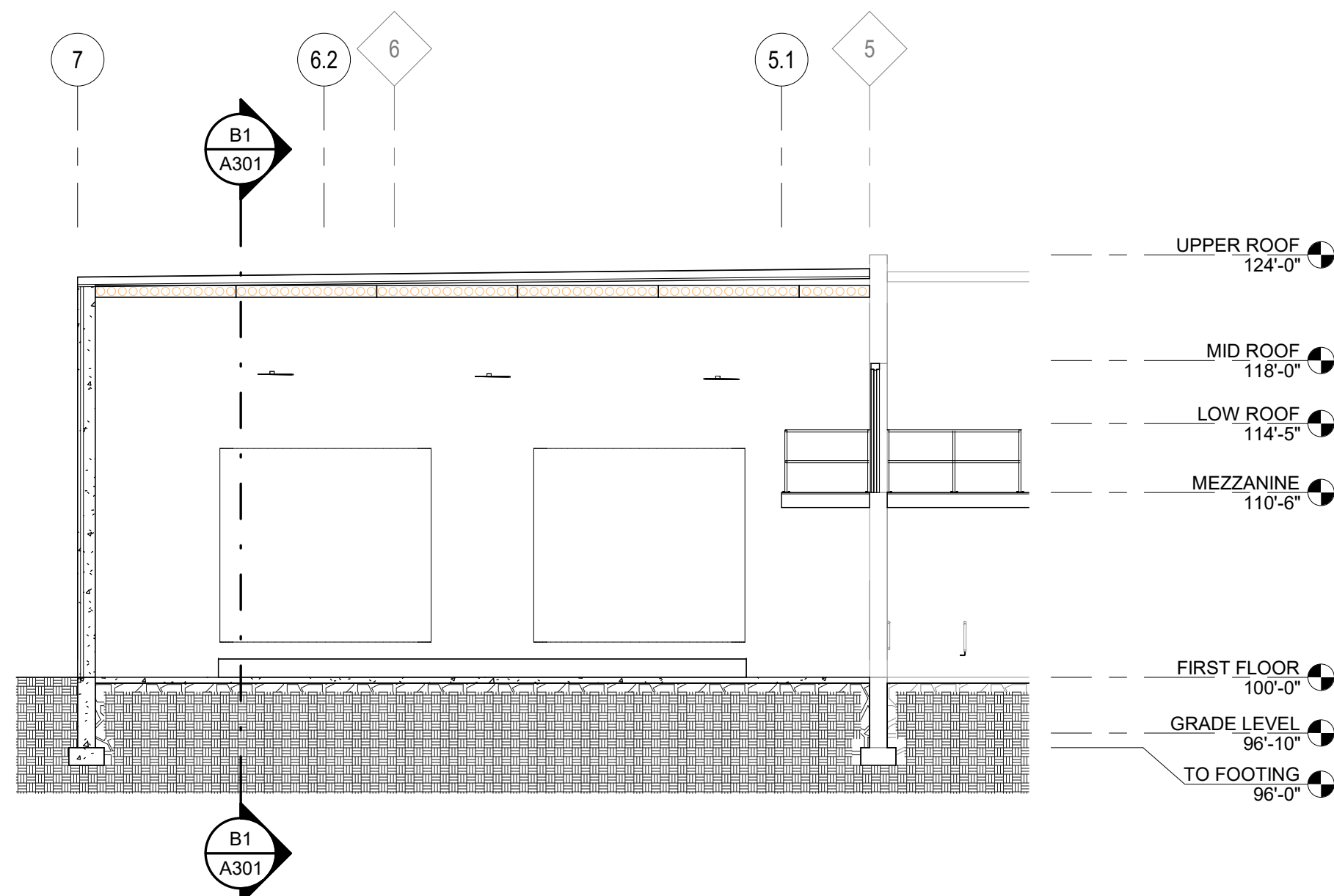
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PROJ. #: 22236-01

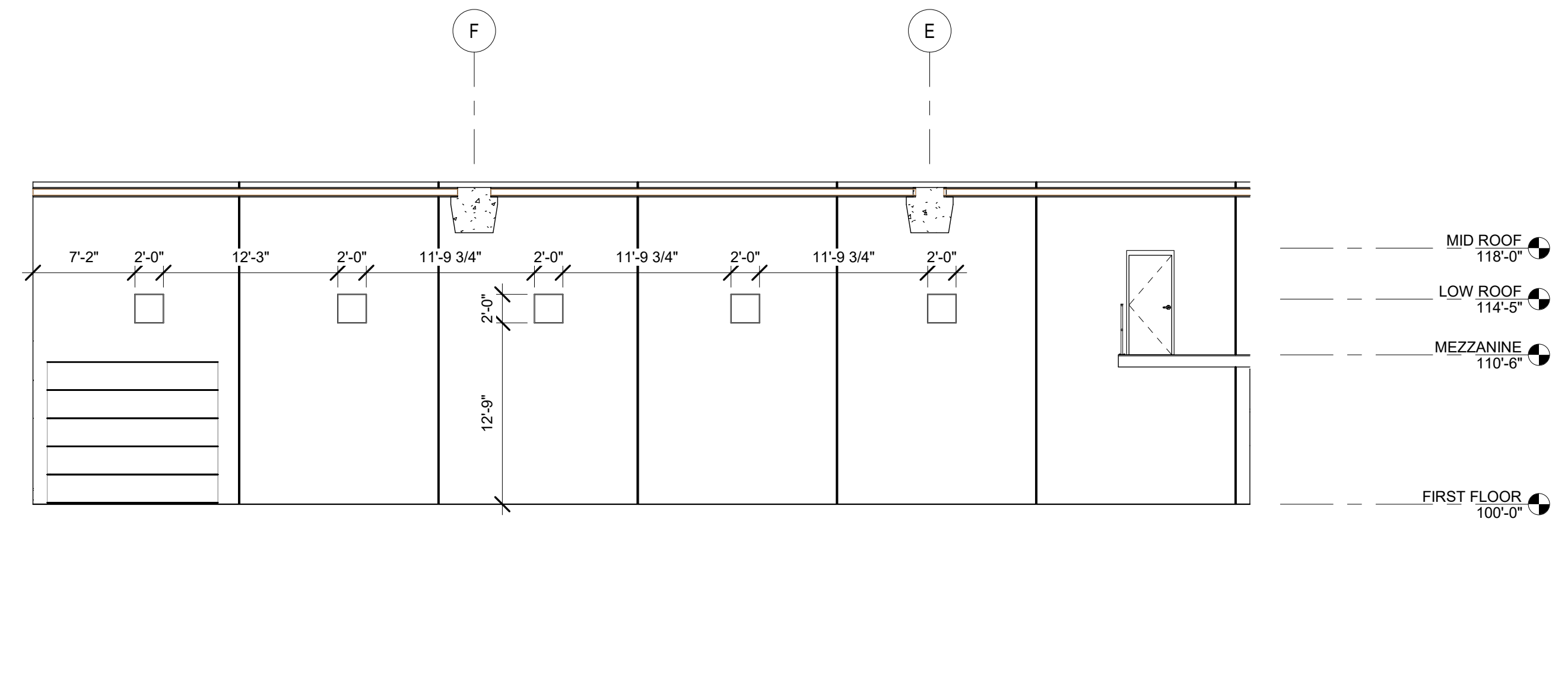
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ARCHITECTURE 2022

**BUILDING  
SECTIONS**

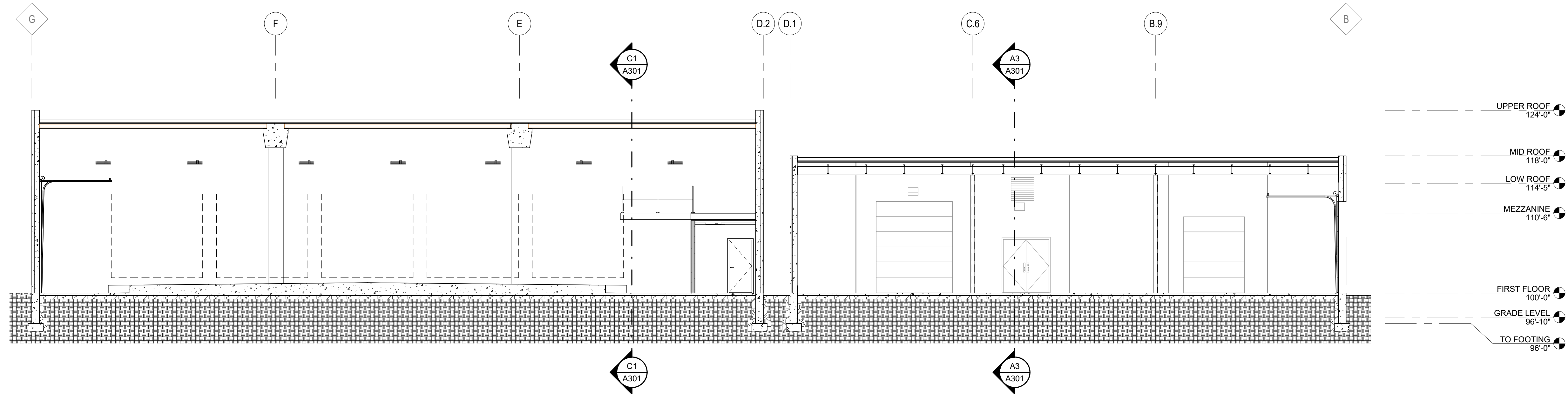
**A301**



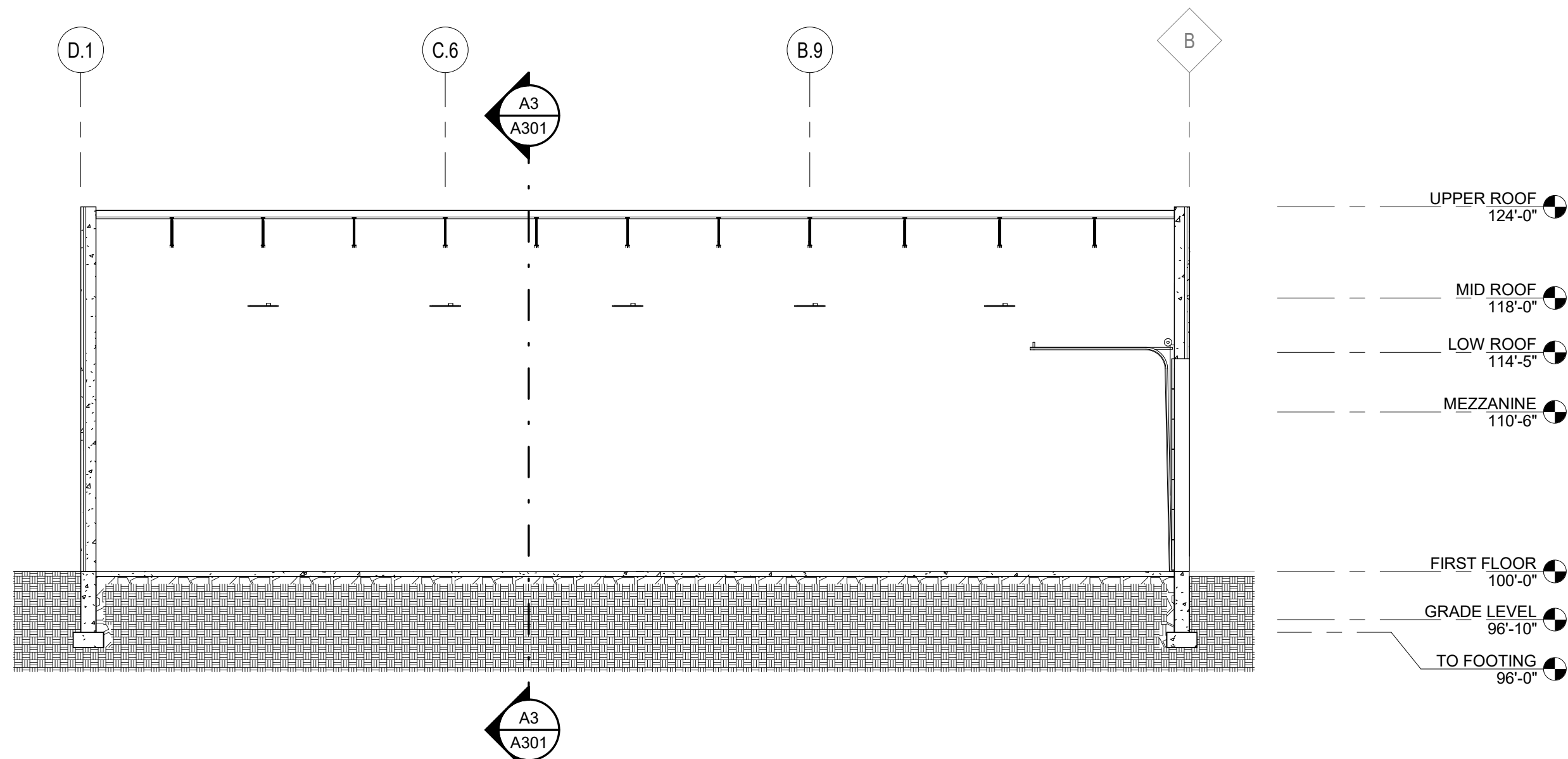
**C1 SECTION - ROOM 101**  
1/8" = 1'-0"



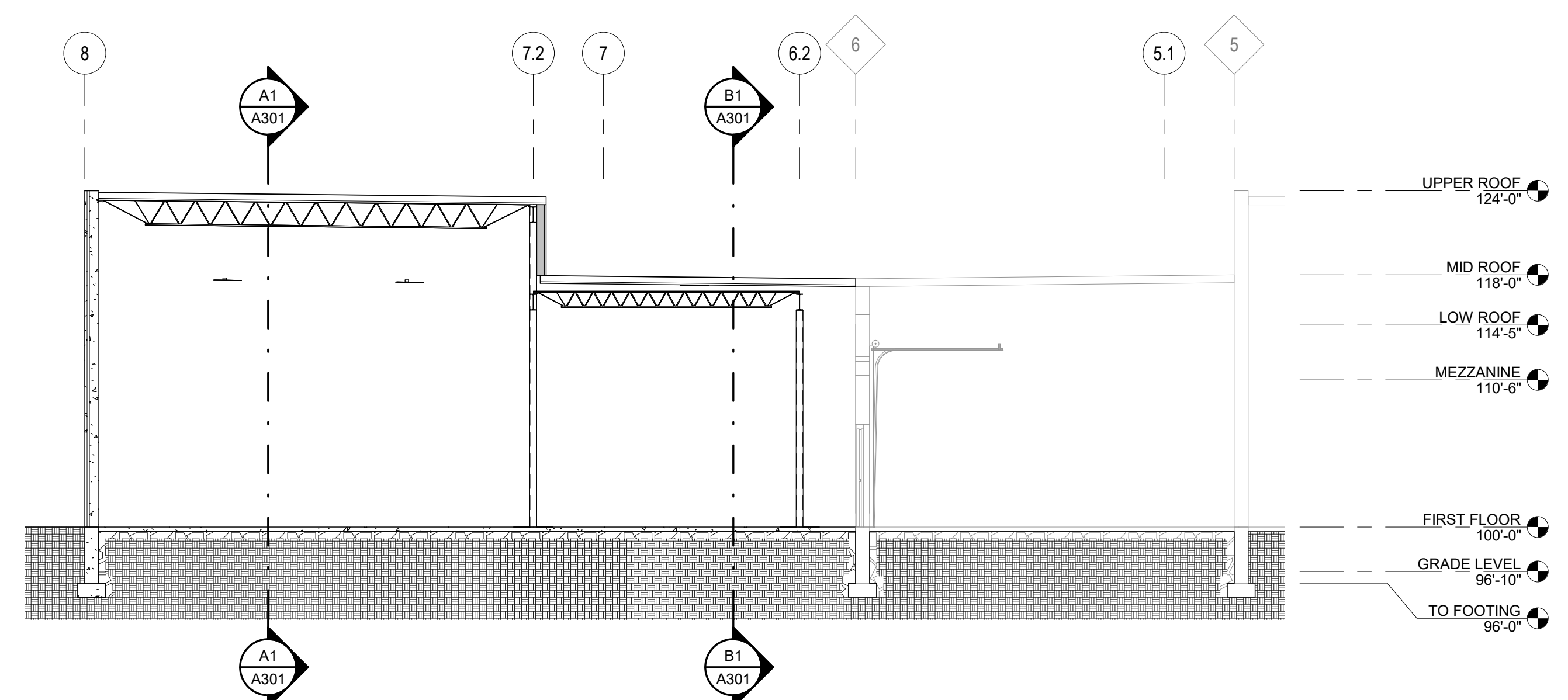
**C3 EXISTING WALL OPENINGS**  
1/8" = 1'-0"



**B1 SECTION - ROOMS 101 & 107**  
1/8" = 1'-0"



**A1 SECTION - ROOM 107**  
1/8" = 1'-0"



**A3 SECTION - ROOMS 107 & 104**  
1/8" = 1'-0"

**PRELIMINARY**

### DOOR SCHEDULE

MARK	NOMINAL DOOR SIZE (W x H x THK)	DOOR PANEL			FRAME		DOOR HARDWARE	WALL FIRE RATING	REMARKS
		TYPE	MATERIAL	FINISH	TYPE	MATERIAL			
101A	3'-0" x 7'-0" x 1 3/4"	1	GALV	PT	A	GALV	PT		
101B	14'-0" x 14'-0" x 2"	3	GALV		C	GALV			
101C	12'-0" x 10'-0" x 2"	3	GALV		C	GALV			
102	3'-0" x 6'-8" x 1 3/4"	2	GALV	PT	B	GALV	PT		
103A	3'-0" x 7'-0" x 1 3/4"	2	GALV	PT	B	GALV	PT		
103B	3'-0" x 7'-0" x 1 3/4"	2	GALV	PT	B	GALV	PT		
107A	3'-0" x 7'-0" x 1 3/4"	1	GALV	PT	A	GALV	PT		
107C	14'-0" x 14'-0" x 2"	3	GALV		C	GALV			
107D	12'-0" x 12'-0" x 2"	3	GALV		C	GALV			
107E	3'-0" x 7'-0" x 1 3/4"	1	GALV	PT	A	GALV	PT		
FIRST FLOOR: 10									
201	3'-0" x 7'-0" x 1 3/4"	1	GALV	PT	A	GALV	PT		
MEZZANINE: 1									

### DOOR SCHEDULE REMARKS

NO.	REMARK
1	
2	
3	

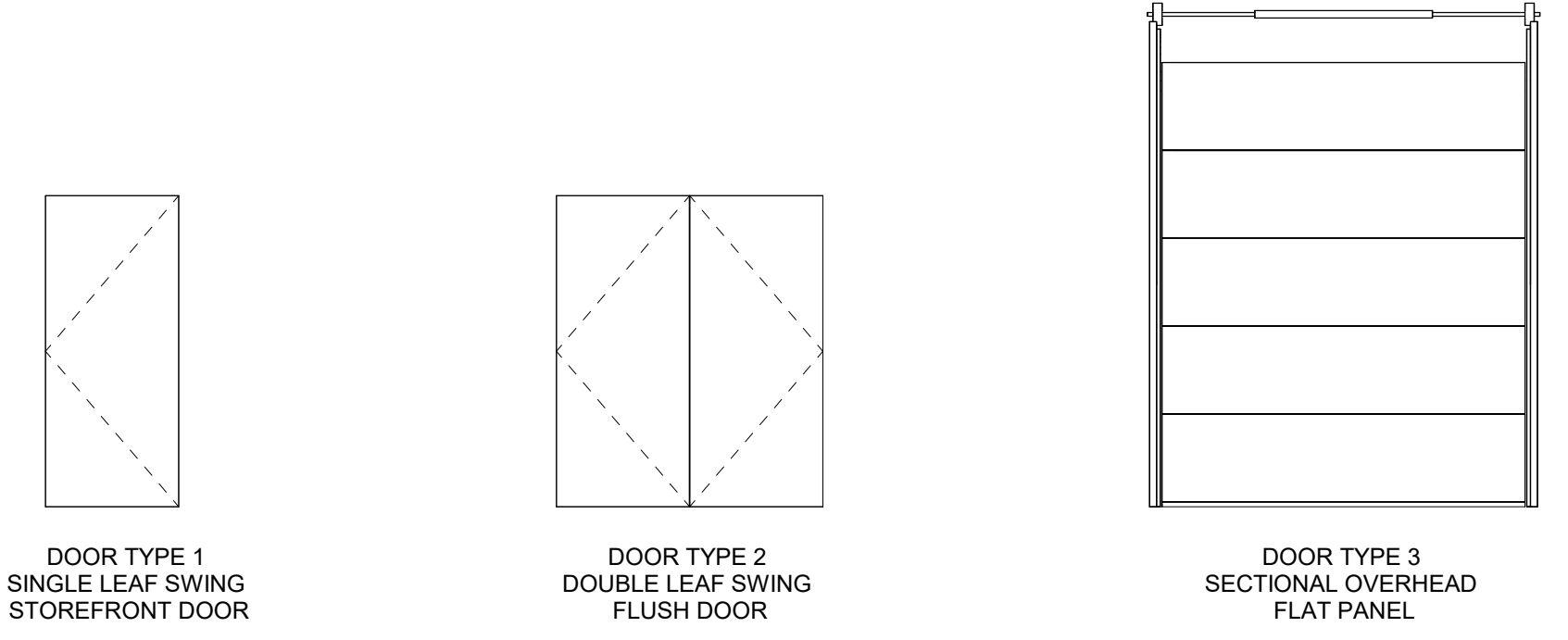
### DOOR SCHEDULE LEGEND

ABBREVIATION	TERM
GALV	GALVANIZED STEEL
PT	PAINT / PROTECTIVE COATING
SS	STAINLESS STEEL

### DOOR HARDWARE SCHEDULE

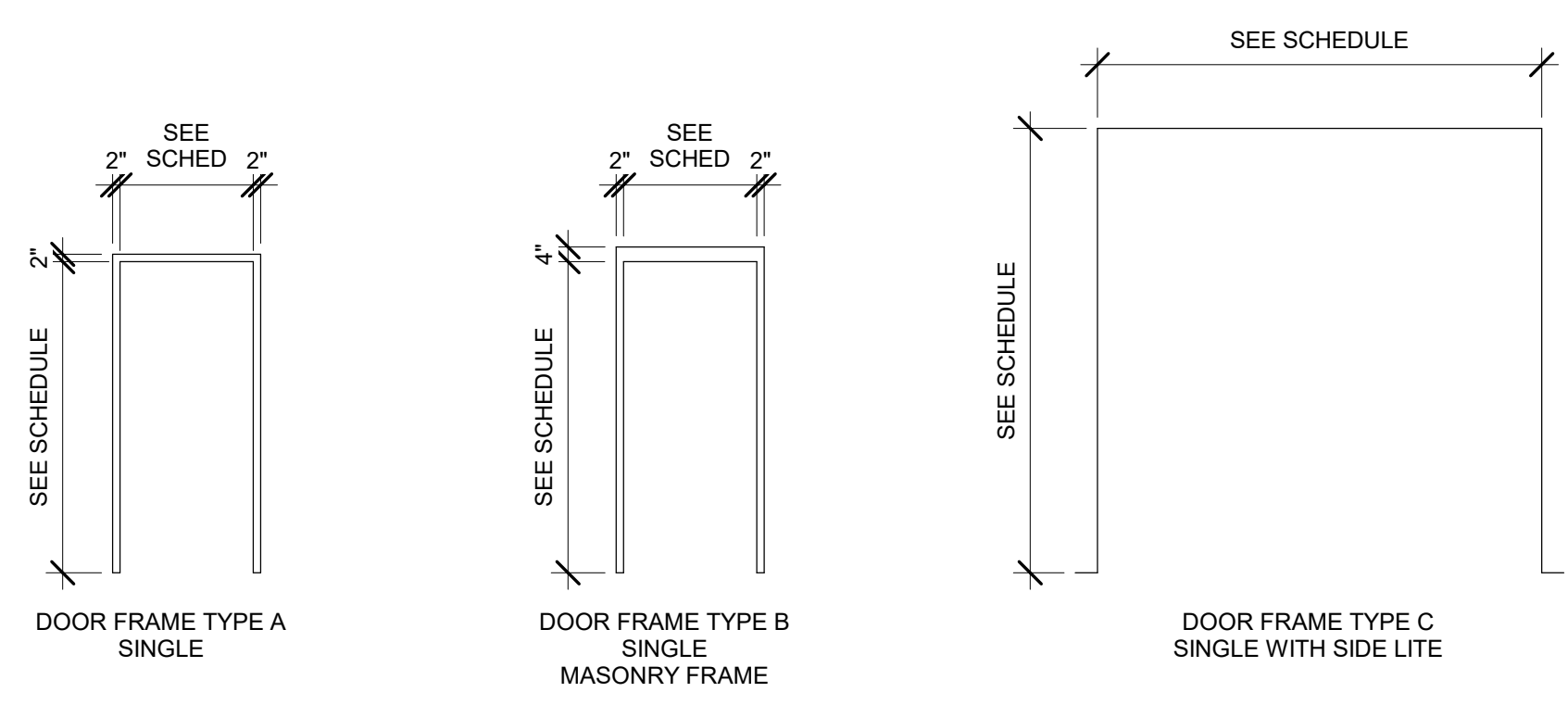
NO.	QTY	HARDWARE	MANUFACTURER	MODEL	FINISH
<b>LOCKS</b>					
L-2	1	STORAGE LOCK SET			SS
<b>HINGES</b>					
H-21	3	1 1/2" PAIR HINGES, HEAVY DUTY			SS
<b>CLOSERS</b>					
C-32	1	SURFACE CLOSER			SS
<b>STOPS</b>					
S-41	1	WALL STOP			SS
<b>OPERATORS</b>					
O-50	1	POWER OPERATOR WITH PULL CHAIN OVERRIDE			SS
<b>MISCELLANEOUS</b>					
M-61	1	KICK PLATE			SS

- #### DOOR GENERAL NOTES:
- A. VERIFY DOOR SIZES FROM DOOR SCHEDULE. VERIFY ALL ROUGH OPENINGS WITH RESPECTIVE MANUFACTURERS.
  - B. PROVIDE ACCESSIBLE HARDWARE INCLUDING BUT NOT LIMITED TO DOOR HANDLES, PULLS, LATCHES, LOCKS, OPERATING DEVICES AND THRESHOLDS AT ALL NEW DOORS. REFER TO SECTION 1010.1.9.1 IN 2015 IBC FOR CODE REQUIREMENTS.
  - C. REINFORCE ALL DOORS FOR HARDWARE WITH OWNER AND TENANT LOCATION AND REQUIREMENTS OF SPECIAL SECURITY DEVICES.
  - D. REFER TO SHEET A001 FOR DOOR CLEARANCE REQUIREMENTS.
  - E. HARDWARE SCHEDULE IS FOR BASIS OF DESIGN ONLY. SUBJECT TO CHANGE. ANY CHANGES TO THE HARDWARE SCHEDULE OR HARDWARE SELECTION MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
  - F. DOOR HARDWARE SCHEDULE QUANTITIES ARE PER DOOR AND DO NOT REPRESENT THE QUANTITY REQUIRED FOR ENTIRE PROJECT.



## C2 DOOR ELEVATIONS

1/4" = 1'-0"



## B2 DOOR FRAME ELEVATIONS

1/4" = 1'-0"

**VAN HOLTEN'S PICKLES**  
 TENANT IMPROVEMENT  
 703 WEST MADISON STREET  
 WATERLOO, WI 53594

#### Project Status

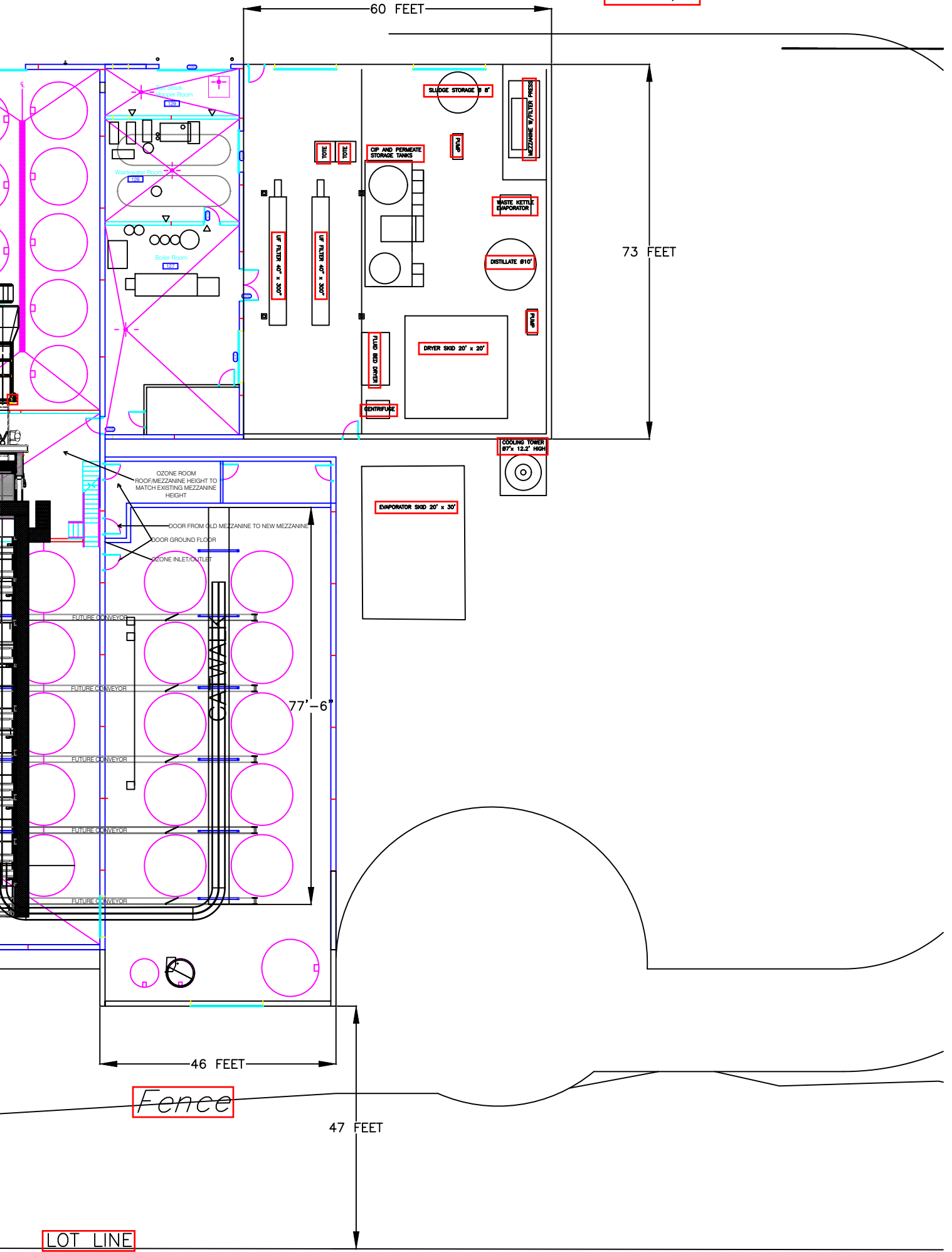
DATE	STATUS
2023.02.27	REVIEW SET

PROJ. #: 22236-01

© SKETCHWORKS ARCHITECTURE 2022

### DOOR AND WINDOW SCHEDULES

Ramp



## Gregg Geier

---

**From:** Fire Chief <chief@waterloowi.us>  
**Sent:** Thursday, March 23, 2023 9:05 AM  
**To:** Gregg Geier  
**Subject:** Re: Van Holten's Fire Access proposal

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Gregg

At 17 feet it will be a much tighter fit for the truck. I will be able to just get by the building. I we have to put the outriggers out that is 17 feet wide which just get past the mirrors on the truck. So If you can make it wider that would be great. But no less than the 17 feet will be okay.

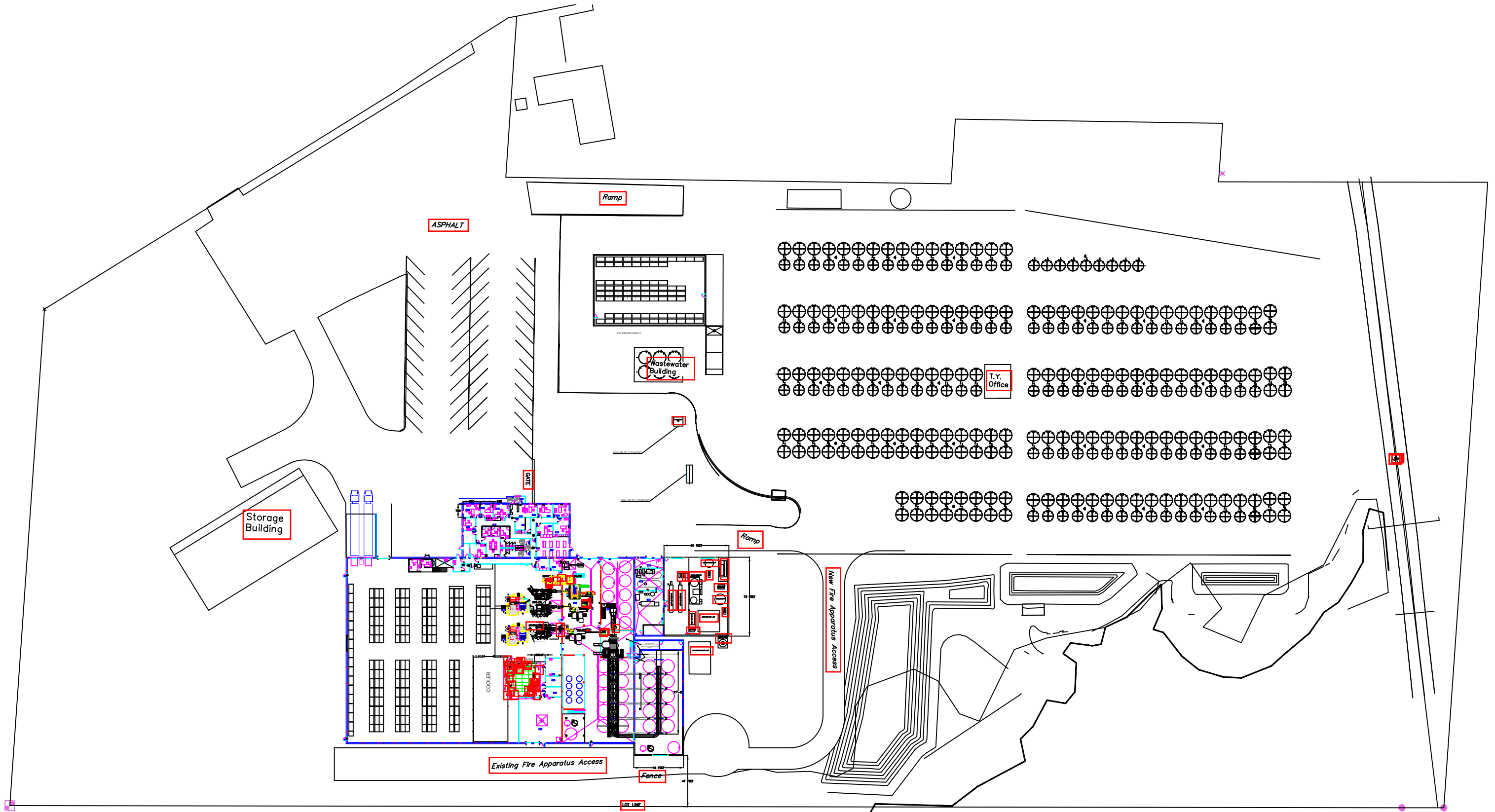
---

**From:** Gregg Geier <ggeier@vanholtenpickles.com>  
**Sent:** Tuesday, March 21, 2023 2:15 PM  
**To:** Fire Chief <chief@waterloowi.us>  
**Subject:** RE: Van Holten's Fire Access proposal

Chief Benish, (I am resending the email)

Thanks for the return email. I do have a comment about when you were out to look at the layout with me, backside of the plant. From the white line, I had on the ground, to the fence was actually a 17-foot passage, not the 24 foot as the print showed. (The fence curves towards the building at that point, so the print was wrong) I believe you thought that it was enough room to drive thru the 17-foot passage and you could then setup in the wider area along the existing building. (See sketch below)

I hope I explained this well enough, but can you approve a 17-foot passage along the new building construction to the fence?



**CITY OF WATERLOO  
PLAN COMMISSION APPLICATION  
ARCHITECTURAL DESIGN REVIEW**

Date 4-13-23

The following information must be submitted one week prior to any Plan Commission meeting for staff review and agenda placement. The Plan Commission meets the 4th Tuesday of each month at 7:00 PM in the Council Chambers of City Hall, 136 North Monroe Street, Waterloo, WI 53594. In addition to this form, required fee, and three (3) sets of plans, the attached Checklist is required to be submitted two weeks in advance.

Project Address 703 W MADISON ST. WATERLOO, WI 53594

Applicant Name VAN HOLTEN'S Phone 920-478-2144

Address SAME AS ABOVE

Owner Name STEVE BYRNES Phone 920-478-2144

Address \_\_\_\_\_

Describe Project 4,380 SQ/FT BRINE RECYCLE BUILDING AND  
4,922 SQ/FT HOLDING TANK ADDITION.

Zoning \_\_\_\_\_ Conforming Use \_\_\_\_\_

Date Received \_\_\_\_\_ Hearing Date \_\_\_\_\_

Fee \_\_\_\_\_ Received By \_\_\_\_\_

  
\_\_\_\_\_  
APPLICANT SIGNATURE

PLAN REQUIREMENTS LIST FOR ALL REVIEWS AND COMMENTS:

Three (3) sets of plans, with all information as listed on the Checklist

If applicable:

- Sign
- Timetable
- Pictures



PLAN SUBMITTAL CHECKLIST

Project: VAN HOLTEN'S ADDITION

Submitted by: GREGG GIERK

Date submitted: 4.13.23

NOTE: Please include each applicable item listed below with all formal plan submittals. All boxes should be checked. Mark "N/A" if the item does not apply. Nine copies of the plans must be submitted with this checklist as a single package no later than 4:30 pm, Tuesday, one week prior to presentation at Plan Commission.

- 1. Show existing and proposed contours at an interval suitable to the topography and project. Contours should extend a minimum of 20' beyond property lines and nearby berms and swales and at least to the backs of curbs.
- 2. Show square footage of:
  - a. Lot or parcel
  - b. Existing impervious surface
  - c. Proposed total impervious
  - d. Existing building
  - e. Proposed total building
  - f. Existing parking and pavement
  - g. Proposed total parking and pavement.
- 3. Show all relevant dimensions including:
  - a. Buildings
  - b. Parking stalls
  - c. Driveway widths
  - d. Setbacks to buildings and other improvements
  - e. Parking lot aisles, turnarounds, turning radii, etc.
  - f. Distance from driveway to street corner if under 200'
  - g. Sidewalk, walkway and handicap ramp widths and locations with respect to street and right-of-way
  - h. Widths of abutting R.O.W.'s, roadways, and terraces.
- 4. Show dimensions and bearings of property lines.
- 5. Show North Arrow and scale of drawing.
- 6. Show City bench mark location and elevation to NGS datum.
- 7. Show all existing and proposed surface materials (grass, bituminous, concrete, etc.)

- N/A 8. Show total number of required and proposed parking stalls.
- N/A 9. Show handicap parking stall and ramp locations.
- N/A 10. Show up or down arrows on loading or other ramps.
- N/A 11. Show existing, proposed, & adjoining driveway approaches.
- N/A 12. Show removal and replacement to City Specifications of concrete curb and gutter for all new curb cuts or as otherwise required.
- 13. Show rim and invert elevations of all drainage structures.
- N/A 14. Design surface drainage to bypass dumpster locations.
- 15. Indicate proposed direction of roof drainage and show location of all roof gutter downspouts.
- 16. Show all existing and proposed public and private utility locations on and adjacent to site.
- 17. Show location of nearest existing fire hydrants and proposed City and private fire hydrants.
- N/A 18. Show location and screening of refuse containers.
- N/A 19. Show how recyclable materials will be handled.
- N/A 20. Show proposed lighting for site including location, pole height, luminaire type and manufacturer's specifications.
- 21. Provide drawings of proposed building with elevation views showing proposed materials and colors.
- 22. Include elevation view of rooftop mechanicals and required screening design, materials, and colors.
- N/A 23. Include statement of historical landmark designation status.
- ~~N/A~~ 24. Include name of designer, P.E. stamp and signature on final plans.
- 25. Include Erosion Control Plan. Include note on plan stating: "Additional erosion control measures will be installed as needed."
- 26. Include Landscape Plan.



136 NORTH MONROE STREET, WATERLOO, WISCONSIN 53594-1198  
Phone (920) 478-3025  
Fax (920) 478-2021  
cityhall@waterloowis.com

**APPLICATION FOR SIGN/BILLBOARD**

(Review and Action by City Plan Commission/Common Council)

Name and Address of Applicant: Wendy S. Fegler, 268 Jackson St. Waterloo, WI 53594

Location of Property on which Sign/Billboard is to be Located: 268 Jackson St.

Owner of Property on which Sign/Billboard is to be Located: Trek

Zoning District in which Sign/Billboard is to be Located: \_\_\_\_\_

TYPE OF SIGN: \_\_\_\_\_ Ground \_\_\_\_\_ Wall  Roof \_\_\_\_\_ Window \_\_\_\_\_ Special Event  
\_\_\_\_\_ Advertising \_\_\_\_\_ Business \_\_\_\_\_ Industrial \_\_\_\_\_ Shopping Center \_\_\_\_\_ Banner  
\_\_\_\_\_ Industrial Park \_\_\_\_\_ Billboard \_\_\_\_\_ Illuminated \_\_\_\_\_ Non-Illuminated  Memorial  
\_\_\_\_\_ Bulletin Board \_\_\_\_\_ Real Estate \_\_\_\_\_ Warning \_\_\_\_\_ Directional \_\_\_\_\_ Other

Sign/Billboard Size: Length 33'10" Height 8'7" Square Feet 290.68 Square footage sum of 3 individual components is 89.4

Submit Sign/Billboard Site Plan and the Following Information:

1. Construction materials and dimensions.
2. Distance from grade to bottom and top of graphic.
3. Distance of Sign/Billboard from public right-of-way.
4. Proposed Sign/Billboard location in relation to property lines.
5. Design calculations for 30# wind load (except flush mounted signs).

I hereby agree to locate, construct and maintain such Sign/Billboard in compliance with the applicable requirements of the Municipal Code of the City of Waterloo.

Date: 4/20/23

Luke Severson  
Signature of Applicant

=====  
Plan Commission Action \_\_\_\_\_ Fee Paid \_\_\_\_\_  
Council Action \_\_\_\_\_ Receipt # \_\_\_\_\_  
Permit # \_\_\_\_\_  
Date Issued \_\_\_\_\_ Date Paid \_\_\_\_\_

**Fee: 10 sq. ft. or smaller - \$10.00 minimum**  
**Each additional sq. ft. \$1.00 to a maximum of \$50.00 for a 50 sq. ft. sign or larger.**

# **TREK**

**TK23\_CAMPUS\_Phase2\_RedBarn-EXT : “RED BARN REFRESH” Program**  
**SIGNAGE: Exterior**  
**FOR FINAL PRODUCTION - APPROVED**

---

PRESENTED BY: EGD-HQ | JASON KRAFT  
EXPORT DATE: 2023.03.28

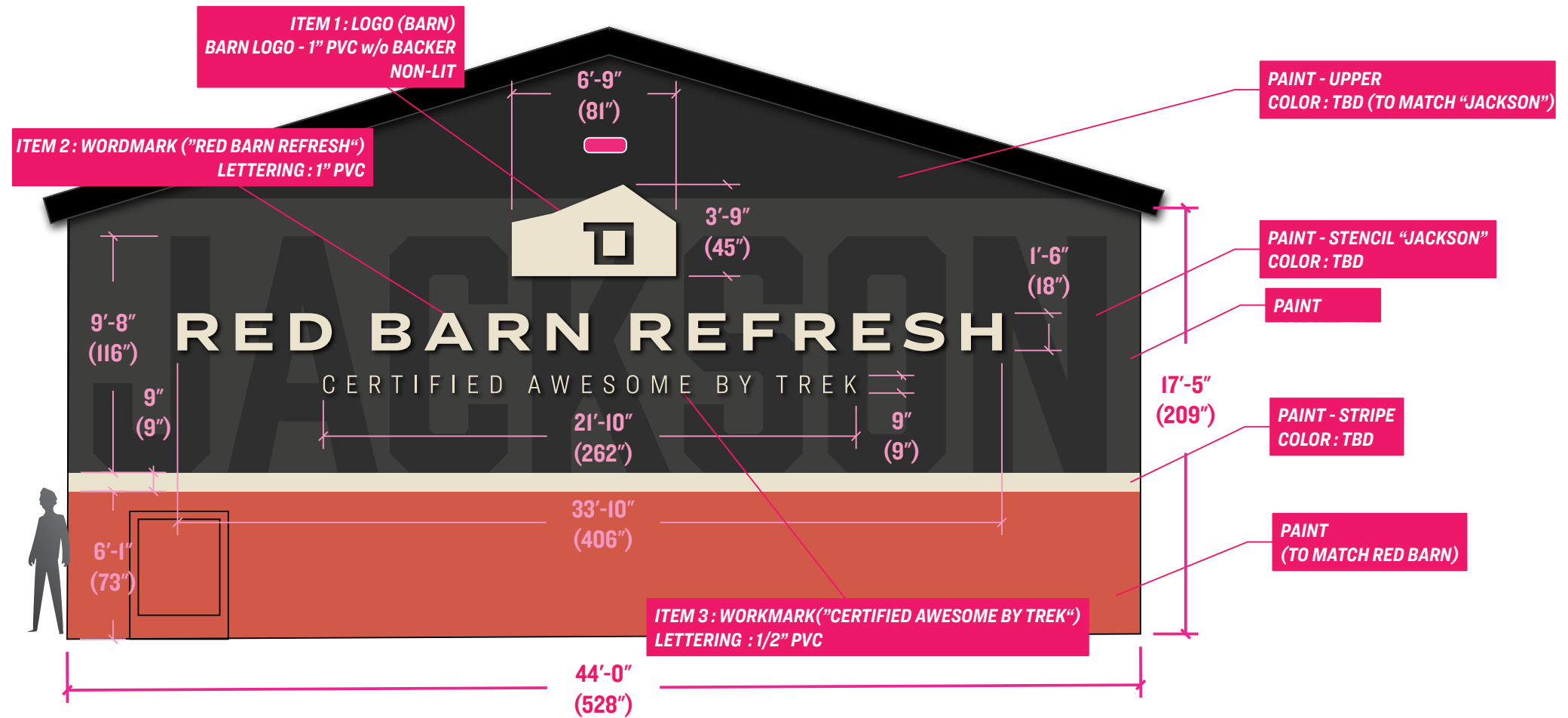
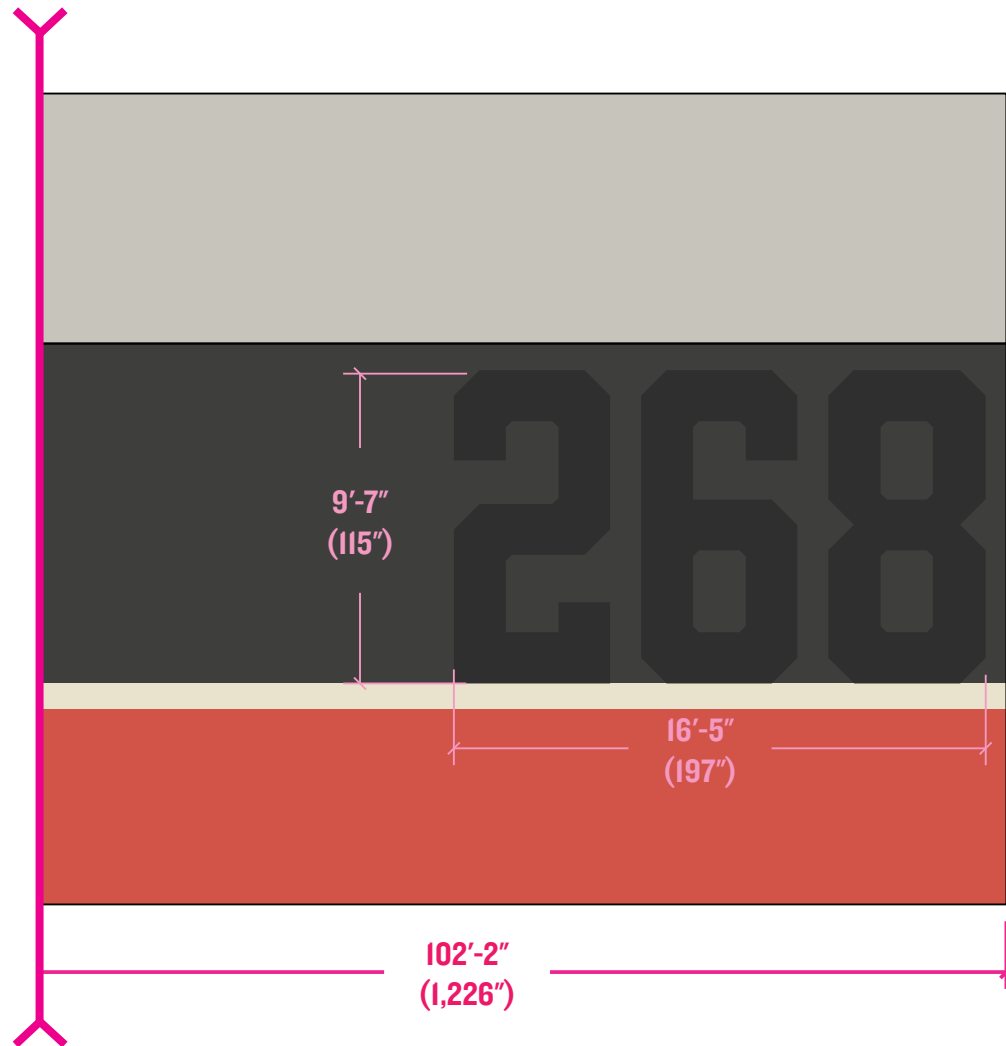
ALL DESIGNS & CONCEPT WORK ARE CONFIDENTIAL UNLESS OTHERWISE INDICATED © TREK BICYCLE CORPORATION 2023 | TK23\_CAMPUS\_Phase2\_RedBarn-EXT\_DASHBOARD | 03/28/23



## RED BARN EXTERIOR SIGNAGE / “RED BARN REFRESH” PROGRAM” - Buildings 1 & 2

**WHAT:**

- Convert the Waterloo original Big Red Barn into the ReRIDE Program HQ
- Refresh/Update/Re-Identify this location

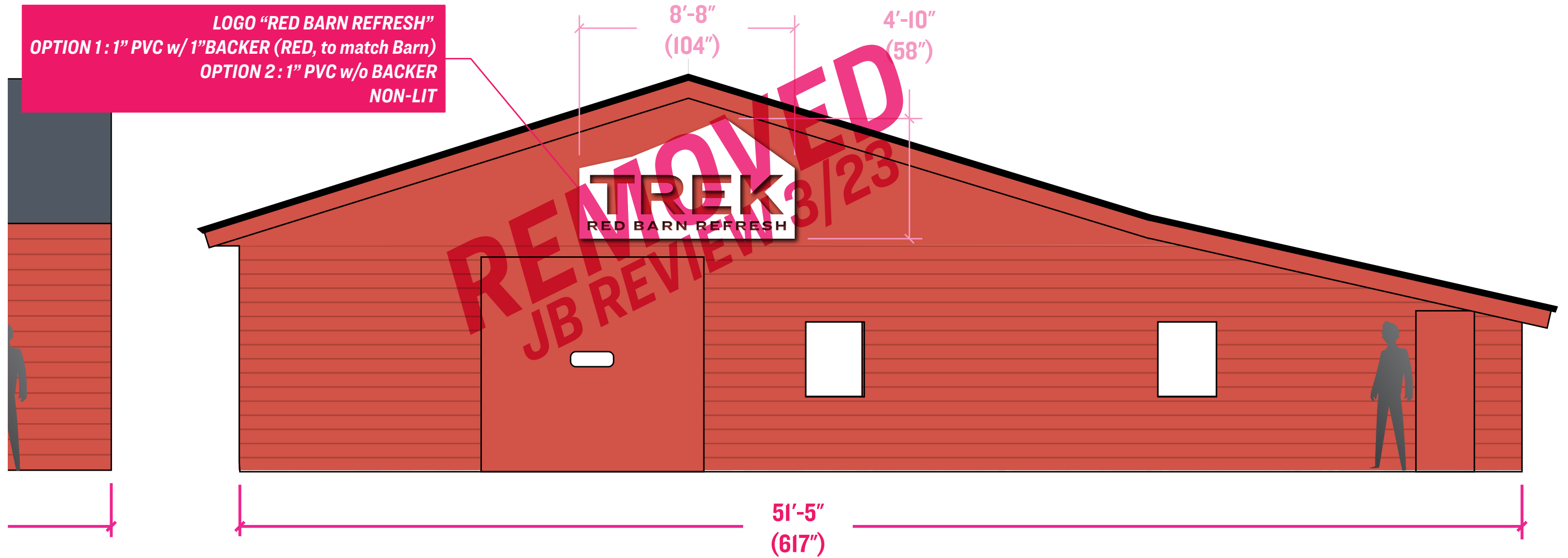


## RED BARN EXTERIOR SIGNAGE / "RED BARN REFRESH" PROGRAM - Building 2

WHAT:

- Convert the Waterloo original Big Red Barn into the ReRIDE Program HQ
- Refresh/Update/Re-Identify this location





## RED BARN EXTERIOR SIGNAGE / BUILDING 1

WHAT:

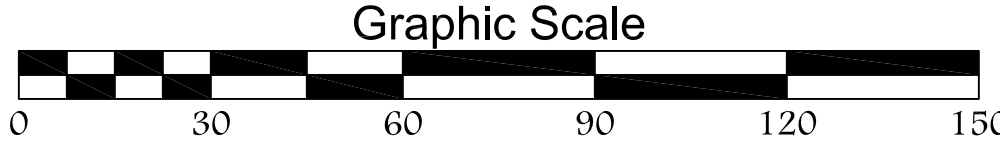
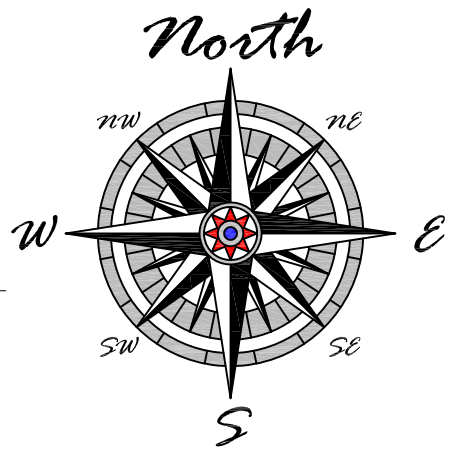
- Convert the Waterloo original Big Red Barn into the ReRIDE Program HQ
- Refresh/Update/Re-Identify this location



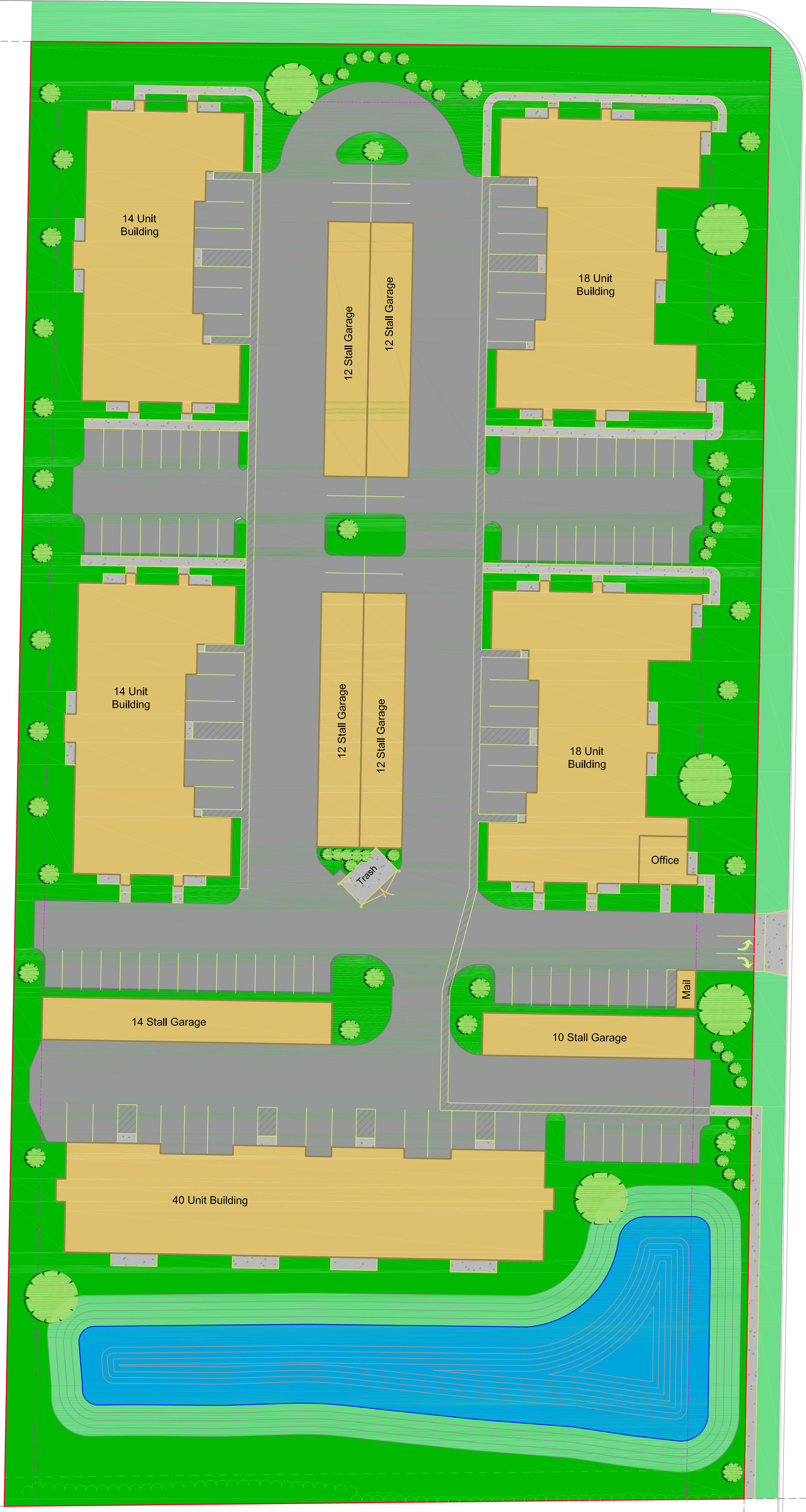
# Site Plan

All of Lot 1, Volume 35, Certified Survey Maps, Page 257, Map Number 6081, Document Number 1426857, Jefferson County Records, being part of the Northeast 1/4 of the Northeast 1/4 of Section 6, T8N-R13E, City of Waterloo, Jefferson County, Wisconsin.

104 Units  
 (2) 14-Unit Buildings  
 (2) 18-Unit Buildings  
 (1) 40-Unit Building  
 (100) Garage stalls & (121) Outdoor stalls



W. Clarkson Road



S.T.H. "89"

N. Monroe Street



PROJECT NO. D-6322  
 SHEET NO. 1 of 1  
 DRAWING NO. S-3732

Duquaine Development

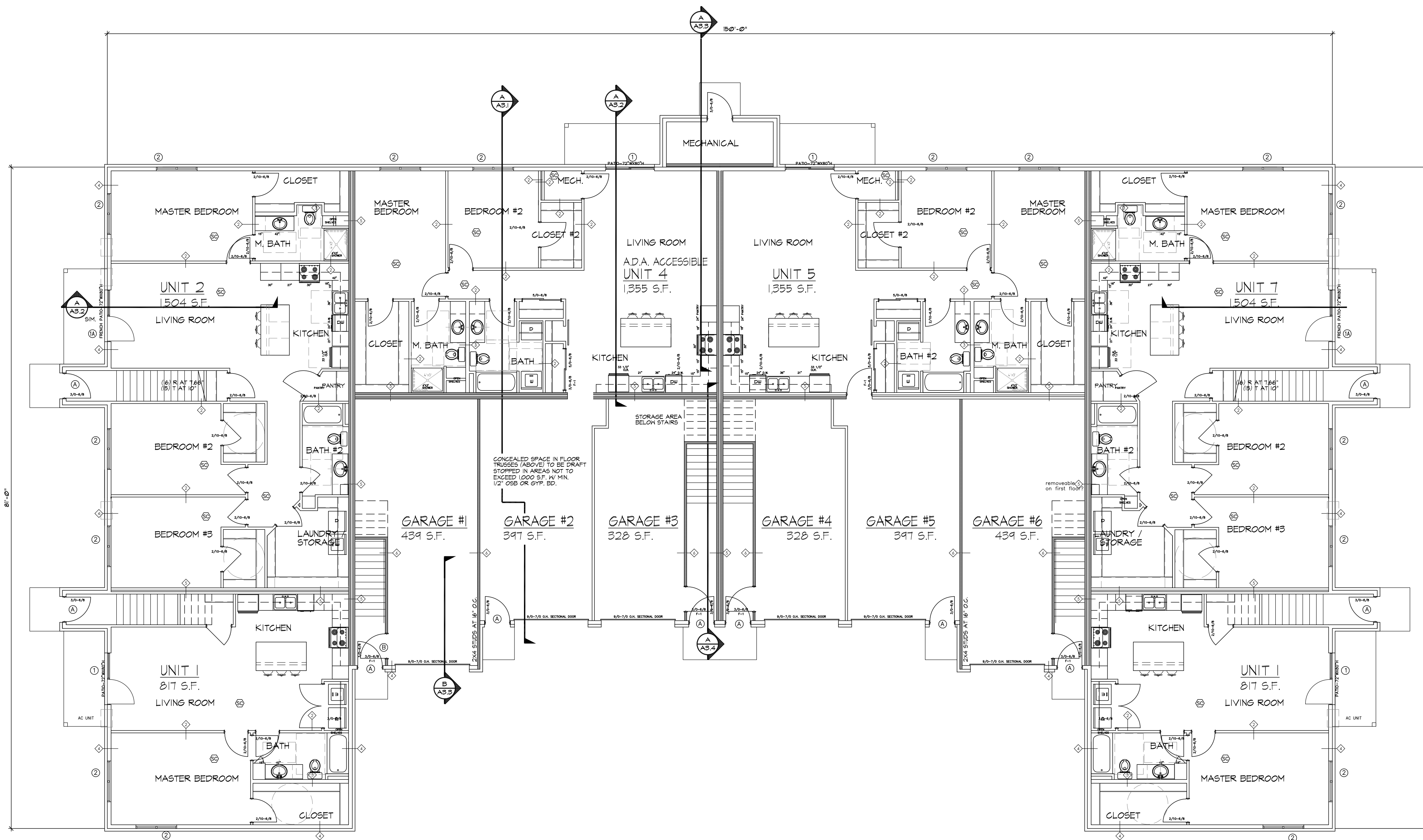
**Mau & Associates, LLP**  
 LAND SURVEYING & PLANNING  
 CIVIL & WATER RESOURCE ENGINEERING  
 Phone: 920-434-9670 Website: www.mau-associates.com  
 400 Security Blvd Ste 1, Green Bay, WI 54313-9712

TAX PARCEL NO. 290-0813-0611-006  
**Site Plan**

SCALE 1" = 30'  
 DRAWN BY BAR

Data File: D-6322.txt Fieldwork Completed: 05/18/22





FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

14 UNIT APARTMENT BUILDING  
EACH WITH PRIVATE ENTRY

REV. NO.	DATE	DESCRIPTION

Architect:  
**Daniel J. Meissner**  
AIA, LLC [daniel.meissnerarch@gmail.com](mailto:daniel.meissnerarch@gmail.com)  
1230 E. Calumet Street Appleton, WI  
920.428.0982

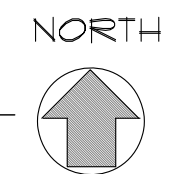
Design Consultant:  
**Concept One LLC**  
325 E. KALB AVE  
GREEN BAY, WISCONSIN  
(920) 680-4060  
[efisher.conceptone@gmail.com](mailto:efisher.conceptone@gmail.com)

PROPOSED MULTI-FAMILY BUILDINGS FOR:  
**DUQUANE DEVELOPMENT**  
NORTH MONROE STREET  
WATERLOO, WISCONSIN

DATE 3/24/23
SHEET A.1
PROJECT NUMBER DQ-22102



SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



14 UNIT APARTMENT BUILDING  
EACH WITH PRIVATE ENTRY

REV. NO.	DATE	DESCRIPTION

Architect:  
**Daniel J. Meissner**  
AIA, LLC [danielmeissnerarch@gmail.com](mailto:danielmeissnerarch@gmail.com)  
1230 E. Calumet Street, Appleton, WI  
920.428.0982

Design Consultant:  
**Concept One LLC**  
325 E. KALB AVE  
GREEN BAY, WISCONSIN  
(920) 680-4060  
[efisher.conceptone@gmail.com](mailto:efisher.conceptone@gmail.com)

PROPOSED MULTI-FAMILY BUILDINGS FOR:  
**DUQUANE DEVELOPMENT**  
NORTH MONROE STREET  
WATERLOO, WISCONSIN

DATE  
3/24/23  
SHEET  
**A1.2**  
PROJECT NUMBER  
DQ-22102



FRONT ELEVATION  
SCALE: 3/16" = 1'-0"



UPPER FLOOR  
SIDE ELEVATION  
SCALE: 3/16" = 1'-0"



BACK ELEVATION  
SCALE: 3/16" = 1'-0"

14 UNIT APARTMENT BUILDING

REV. NO.	DATE	DESCRIPTION

Architect:  
**Daniel J. Meissner**  
AIA, LLC daniel.meissnerarch@gmail.com  
1230 E. Calumet Street Appleton, WI  
920.428.0982

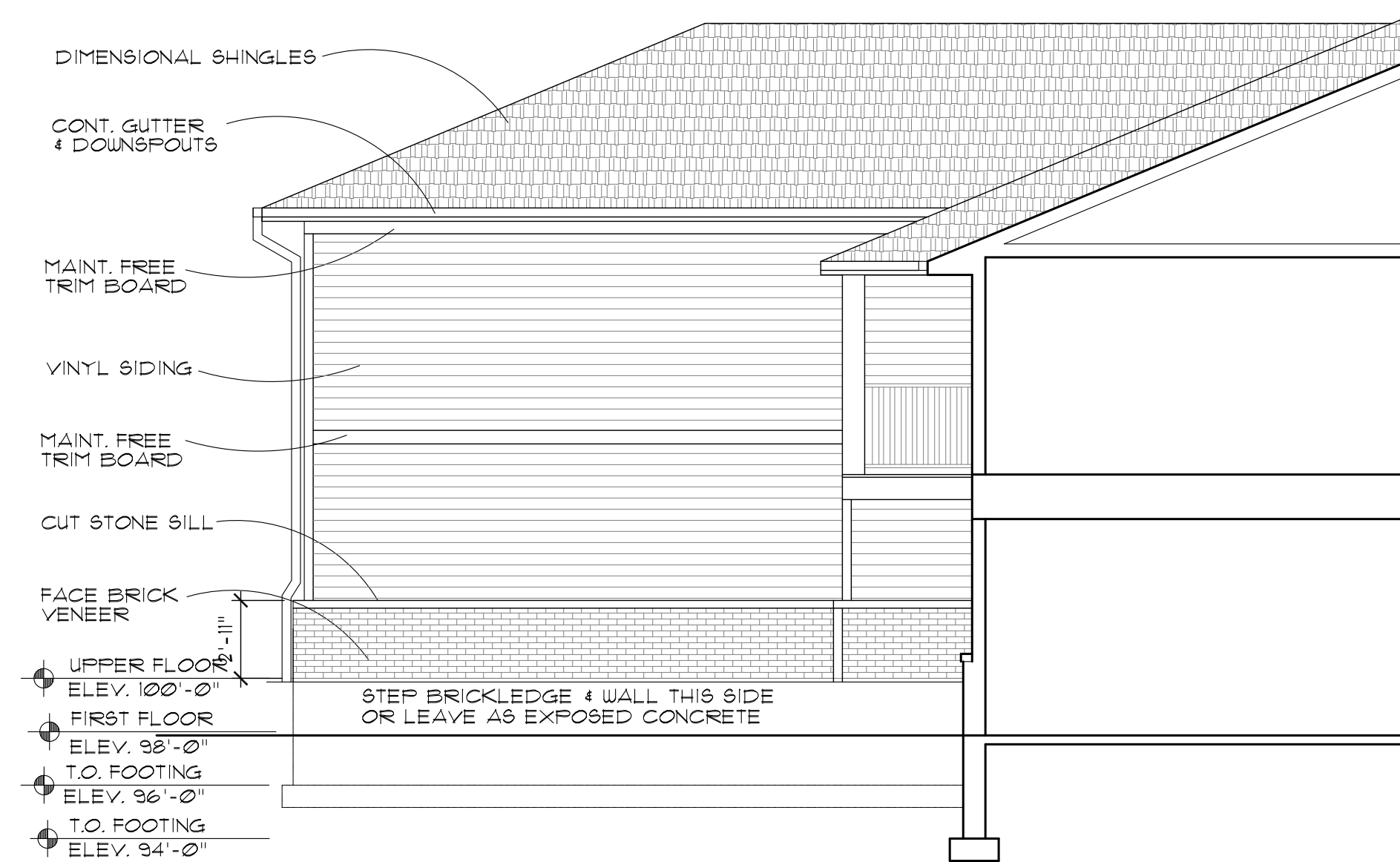
Design Consultant:  
**Concept One LLC**  
325 E. KALB AVE  
GREEN BAY, WISCONSIN  
(920) 680-4060  
efisher.conceptone@gmail.com

PROPOSED MULTI-FAMILY BUILDINGS FOR:  
**DUQUANE DEVELOPMENT**  
NORTH MONROE STREET  
WATERLOO, WISCONSIN

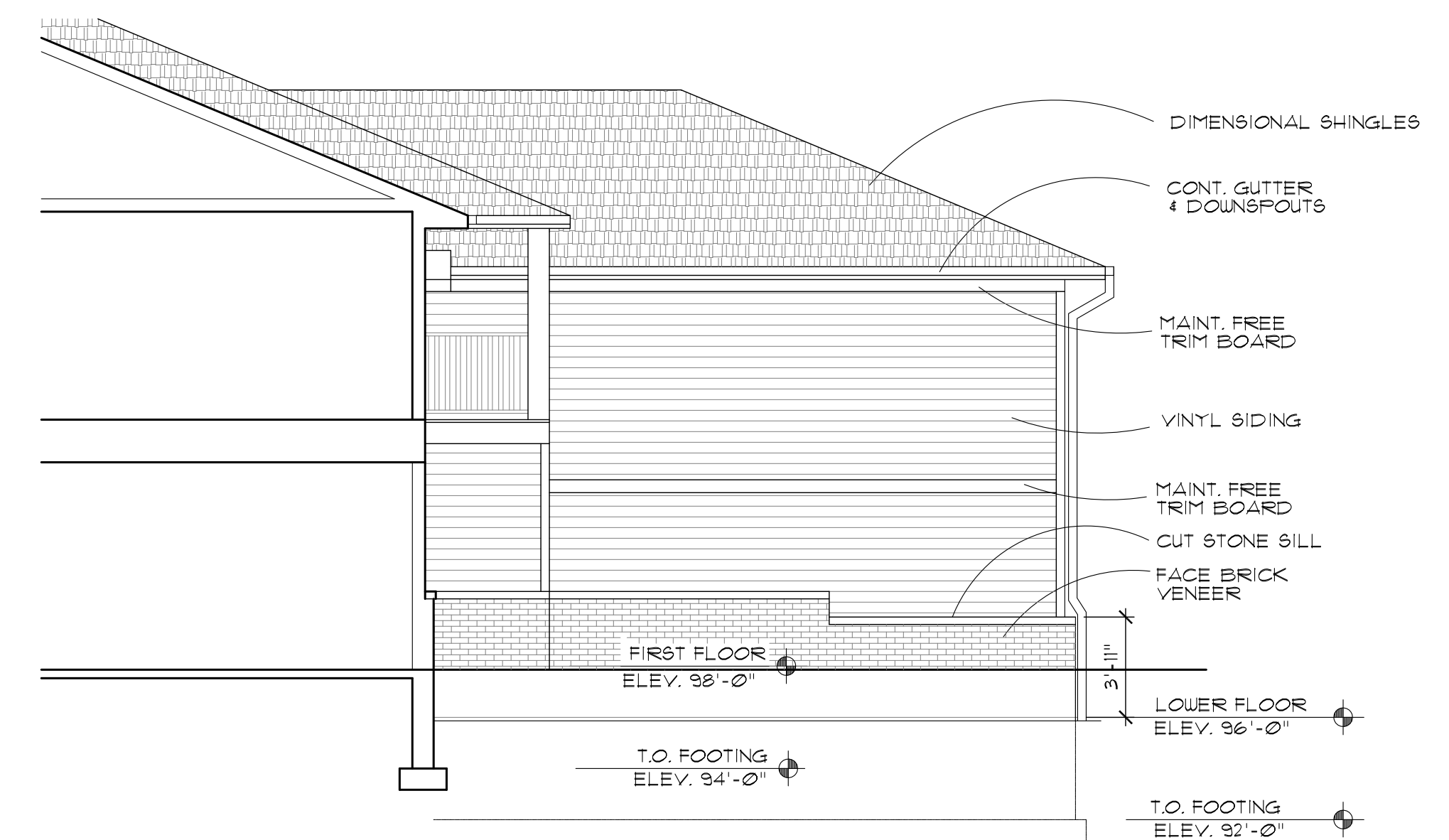
DATE  
9/21/22  
SHEET  
**A2.1A**  
PROJECT NUMBER  
DQ-22102



LOWER FLOOR  
SIDE ELEVATION  
SCALE: 3/16" = 1'-0"



PARTIAL UPPER FLOOR  
SIDE ELEVATION  
SCALE: 3/16" = 1'-0"



PARTIAL LOWER FLOOR  
SIDE ELEVATION  
SCALE: 3/16" = 1'-0"

14 UNIT APARTMENT BUILDING

REV. NO.	DATE	DESCRIPTION

Architect:  
**Daniel J. Meissner**  
AIA, LLC daniel.meissnerarch@gmail.com  
1230 E. Calumet Street Appleton, WI  
920.428.0982

Design Consultant:  
**Concept One LLC**  
325 E. KALB AVE  
GREEN BAY, WISCONSIN  
(920) 680-4060  
efisher.conceptone@gmail.com

PROPOSED MULTI-FAMILY BUILDINGS FOR:  
**DUQUANE DEVELOPMENT**  
NORTH MONROE STREET  
WATERLOO, WISCONSIN

DATE	3/24/23
SHEET	A2.2
PROJECT NUMBER	DQ-22102



**2112 BUILDING**  
**40 Unit 3 Story**



**PRELIMINARY - NOT FOR CONSTRUCTION**

**Duquaine Development**  
**Bay Pointe Apartments LLC**  
**2112 POD (3) Nasewaupsee WI**

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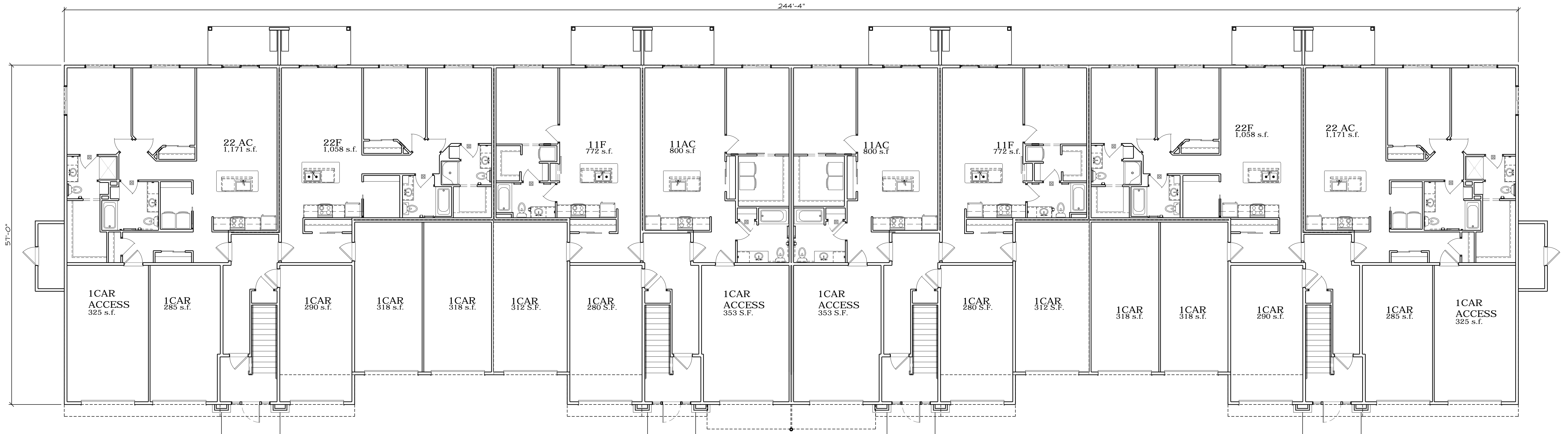
**LaPlant**  
 Architecture, LLC  
 EMAIL: [lapanarchitecture@yahoo.com](mailto:lapanarchitecture@yahoo.com)

OFFICE: 926 WILLARD DRIVE  
 GREEN BAY, WISCONSIN  
 MAILING: 1592 RUSTIC WAY  
 GREEN BAY, WISCONSIN 54313  
 Telephone: (920) 737-9769

REVISION	DATE
1	XX

DATE: 4/7/2023  
 PROJECT NO.: 1811402  
 SHEET: **A**  
**1.1**

**FIRST FLOOR**



**2112 BUILDING**

**Duquaine Development**  
**Bay Pointe Apartments LLC**  
**2112 POD (3) Nasewaapee WI**

**LaPlant**  
 Architecture, LLC

EMAIL: laplanarchitecture@yahoo.com  
 OFFICE: 926 WILLARD DRIVE  
 GREEN BAY, WISCONSIN  
 MAILING: 1592 RUSTIC WAY  
 GREEN BAY, WISCONSIN 54313  
 Telephone: (920) 737-9769

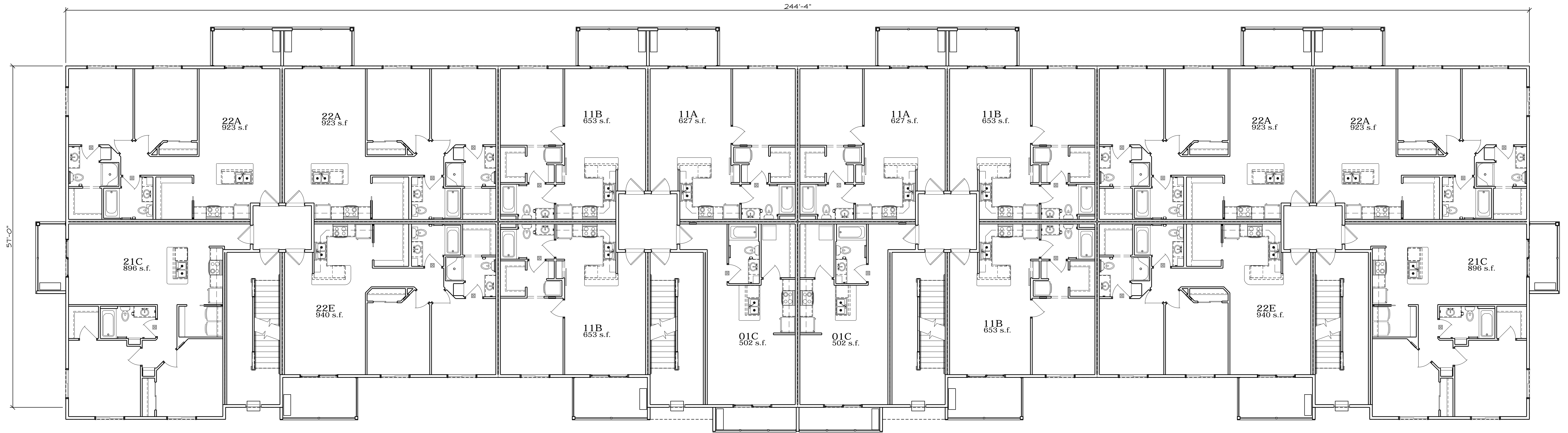
REVISION	DATE
1	XX

DATE: 4/7/2023  
 PROJECT NO.: 1811402  
 SHEET: **A**  
**2.1**

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**PRELIMINARY - NOT FOR CONSTRUCTION**

**SECOND FLOOR**

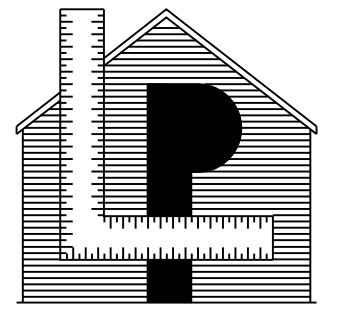


**2112 BUILDING**

**PRELIMINARY - NOT FOR CONSTRUCTION**

**Duquaine Development**  
**Bay Pointe Apartments LLC**  
**2112 POD (3) Nasewaapee WI**

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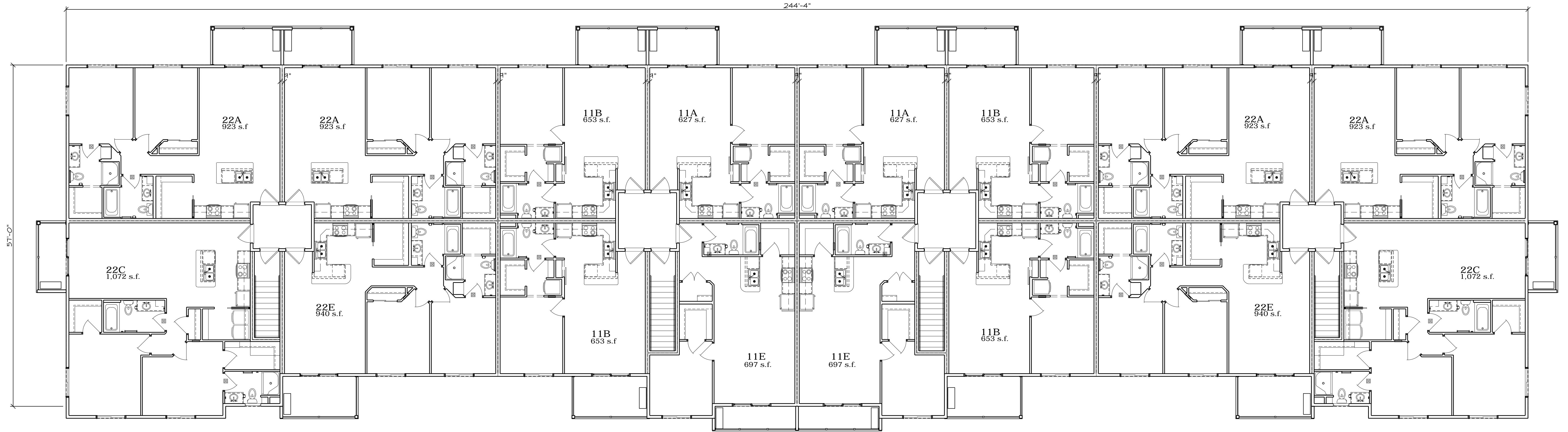
  
**LaPlant**  
 Architecture, LLC  
 EMAIL: [lplantarchitecture@yahoo.com](mailto:lplantarchitecture@yahoo.com)

OFFICE: 926 WILLARD DRIVE  
 GREEN BAY, WISCONSIN  
 MAILING: 1592 RUSTIC WAY  
 GREEN BAY, WISCONSIN 54313  
 Telephone: (920) 737-9769

REVISION	DATE
1	XX

DATE: 4/7/2023  
 PROJECT NO.: 1811402  
 SHEET: **A**  
**2.2**

**THIRD FLOOR**



**2112 BUILDING**

**PRELIMINARY - NOT FOR CONSTRUCTION**

**Duquaine Development**  
**Bay Pointe Apartments LLC**  
**2112 POD (3) Nasewaapee WI**

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**LaPlant**  
 Architecture, LLC  
 EMAIL: [lplantarchitecture@yahoo.com](mailto:lplantarchitecture@yahoo.com)

OFFICE: 926 WILLARD DRIVE  
 GREEN BAY, WISCONSIN  
 MAILING: 1592 RUSTIC WAY  
 GREEN BAY, WISCONSIN 54313  
 Telephone: (920) 737-9769

REVISION	DATE
1	XX

DATE: 4/7/2023  
 PROJECT NO.: 1811402  
 SHEET: **A**  
**2.3**



# Purchase Agreement

**Civic Systems, LLC**  
4807 Innovate Ln  
P.O. Box 7398  
Madison, WI 53707-7398

**City of Waterloo**  
136 North Monroe Street  
Waterloo, WI 53594

You agree to purchase the software and services detailed below and Civic Systems, LLC agrees to provide them. **An invoice will be sent after completion of the work described in the Investment Summary.** The information provided in this proposal is valid for 90 days from issue date.

## INVESTMENT SUMMARY

New Employee Training Onsite (28 Hours @ \$150/HR)     \$     4,200

- Payroll – 8 Hours
- Accounts Payable – 6 Hours
- General Ledger – 6 Hours
- Fixed Assets – 2 Hours
- miExcel GL (includes cleanup) – 4 Hours
- miViewPoint and miBudget – 2 Hours

### TOTAL INVESTMENT

**\$     4,200**

\*Travel Costs not included

## SIGNATURE AGREEMENT

The signatures below indicate each party's acceptance of this agreement.

### CITY OF WATERLOO, WI

Signature: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

### CIVIC SYSTEMS, LLC

Signature: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_



A SUBSIDIARY OF BAKER TILLY US, LLP



136 North Monroe Street  
Waterloo, WI 53594  
Phone: (920) 478-3025  
Fax: (920) 478-2021  
[www.waterloowi.us](http://www.waterloowi.us)

---

RESOLUTION #2023-17

RESOLUTION OF SUPPORT  
WISCONSIN DEPARTMENT OF TRANSPORTATION (WisDOT)  
2023-2026 TRANSPORTATION ALTERNATIVES PROGRAM (TAP) AWARD CYCLE

WHEREAS, the City of Waterloo supported submission of the TAP application to WisDOT for the 2023-2026 award cycle for the City of Waterloo – 203 East Madison Street Phase 3 Pedestrian Path Project on March 24, 2023; and

WHEREAS, the City of Waterloo is committed to creating physical improvements to streets and neighborhoods that makes walking and bicycling safer, more comfortable, and more convenient; and

WHEREAS, the City of Waterloo encourages increased access and connection to the natural environment through a modal shift to biking, walking or transit from utilitarian vehicle; and

WHEREAS, the City of Waterloo recognizes that WisDOT reimburses project sponsors up to 80% of the approved TAP project costs, up to the limit of the federal award amount; and

WHEREAS, the City of Waterloo has secured match funding and/or commits securing matching funds up to 20% of the project costs.

BE IT RESOLVED, if the City of Waterloo is awarded funding by WisDOT for the 2023- 2026 TAP award cycle, the City of Waterloo is authorized to and agrees to accept the award and enter into all necessary agreements with WisDOT for the above-referenced project; and

NOW, THEREFORE BE IT FURTHER RESOLVED, that the City of Waterloo agrees to comply with all applicable laws, requirements, and regulations as outlined in the WisDOT 2023-2026 TAP application materials, the State Municipal Agreement between WisDOT and the City of Waterloo, and any other program and/or project documentation.

Passed and adopted by the City of Waterloo Common Council on this 4<sup>th</sup> day of May, 2023.

CITY OF WATERLOO

\_\_\_\_\_  
Jenifer Quimby, Mayor

\_\_\_\_\_  
Tim Thomas, Common Council President

ATTEST:

\_\_\_\_\_  
Jeanne M. Ritter, Clerk



136 North Monroe Street, Waterloo, Wisconsin 53594-1198  
Phone (920) 478-3025  
Fax (920) 478-2021

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**RESOLUTION #2023-18**  
**Seasonal Hours for DPW and City Hall**

The Common Council of the City of Waterloo, Wisconsin does hereby resolve as follows:

**WHEREAS**, the City Council recommends seasonal hours for the Department of Public Works Starting the week of April 24, 2023 and running through September 2023.

**WHEREAS**, the DPW will work 4 -10 hour days (Monday – Thursday) and City Hall will close at noon on Friday's.

**THEREFORE BE IT RESOLVED**, the City of Waterloo Common Council approves seasonal hours as stated above.

**PASSED AND ADOPTED** this \_\_\_\_ day of \_\_\_\_\_ 2023.

**City of Waterloo**

Signed: \_\_\_\_\_  
Jenifer Quimby, Mayor

Attest:

\_\_\_\_\_  
Jeanne Ritter, Clerk

## Waterloo City Council - Annual Calendar

Meeting nights: 1<sup>st</sup> & 3<sup>rd</sup> Thursdays at 7:00 pm

JANUARY
FEBRUARY - Audit Prep
MARCH - Waterloo incorporated March 19, 1859 (Village status)
APRIL - Annual Organizational Mtg & Appointments 2nd mtg after regular election - Election of Council President - Audit Presentation 2 <sup>nd</sup> mtg - National Library Week
MAY - National Firefighters Day (always May 4th) - National EMS Week (3 <sup>rd</sup> full week of May S-S) - National Police Week (w/o May 15 <sup>th</sup> ) - April 11, 1962 (City status)
JUNE
JULY - Budget Kick off
AUGUST
SEPTEMBER
OCTOBER
NOVEMBER - Budget public hearing and consideration of a Finance, Insurance & Personnel Committee budget recommendation
DECEMBER

### ONLINE LINKS

- [Municipal Code Chapter 30 -- CITY COUNCIL](#)
- [2021-2026 Comprehensive Plan Update](#)